

revisions	no.	date



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ROOF REPLACEMENT

Peggy Edmiston Administration Building

1075 Mullins Station Road, Memphis, TN 38134

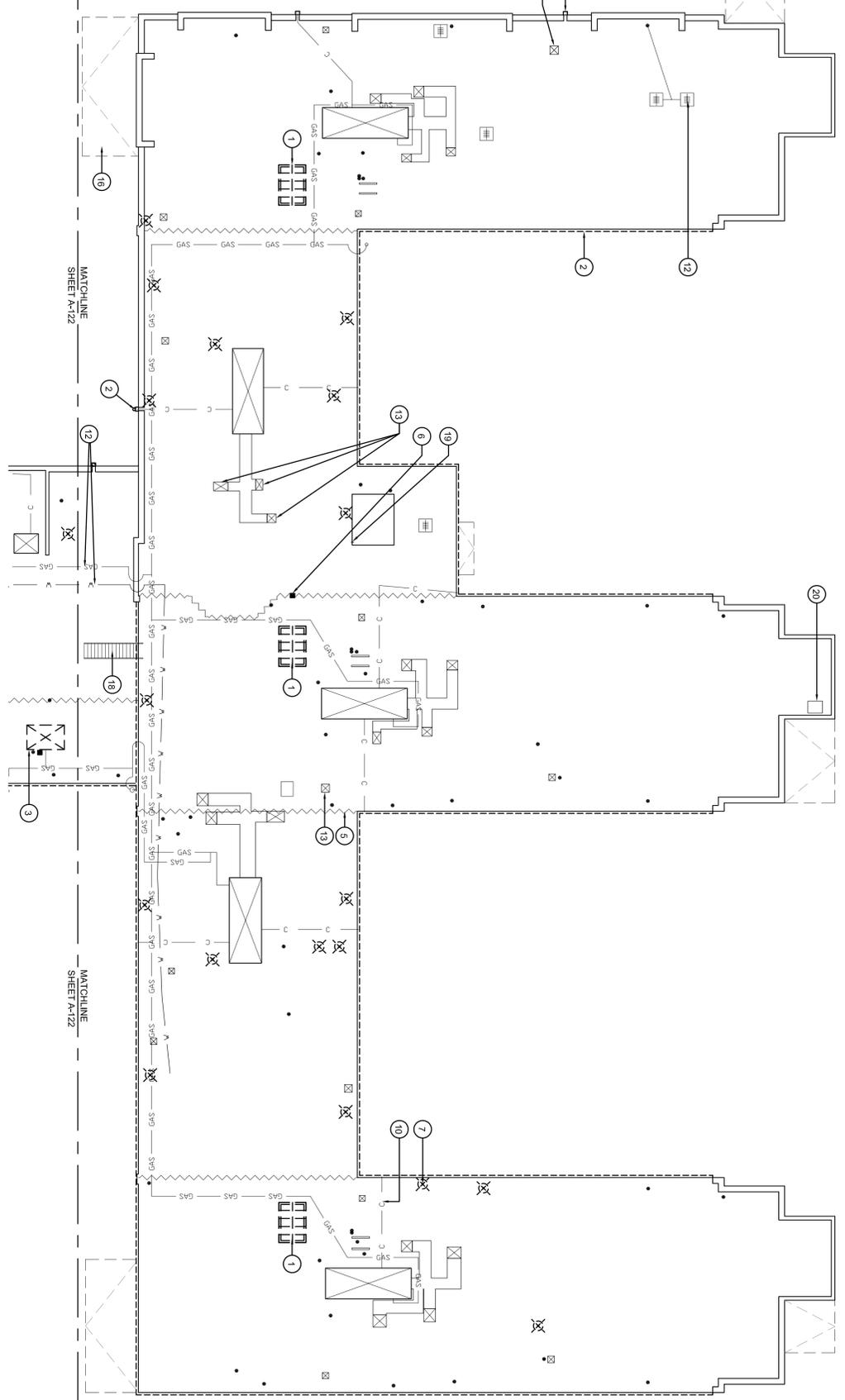
BID DOCUMENT SET

sheet name	WEST ROOF DEMOLITION PLAN
date	11.18.2013

A-121

DEMOLITION KEY NOTES

- NOTE TO CONTRACTOR:**
 THE KEY NOTES ARE INTENDED TO BE TYPICAL IN NATURE AND APPLICABLE TO ALL SIMILAR CONDITION LOCATIONS IN THE DRAWINGS, UNLESS OTHERWISE INDICATED AS AN ISOLATED SITUATION CONDITION.
- REMOVE ALL EXISTING SKYLIGHT UNITS AND CURBS. INFILL EXISTING ROOF DECK OPENINGS. REFER TO PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
 - REMOVE ALL EXISTING ROOF EDGE GUTTERS, FLASHINGS, DOWNSPOUTS, AND COLLECTION BOXES.
 - REMOVE EXISTING ABANDONED MECHANICAL UNIT AND CURB. INFILL EXISTING ROOF DECK OPENINGS. REFER TO PLANS AND DETAILS FOR ADDITIONAL INFORMATION. CONFIRM REMOVAL WITH ARCHITECT PRIOR TO DEMOLITION.
 - NOT USED.
 - REMOVE ALL ROOFTOP EXPANSION JOINTS.
 - REMOVE ALL EXISTING PITCH POCKETS.
 - REMOVE EXISTING ABANDONED VTRS AT ALL LOCATIONS INDICATED ON DRAWINGS. VTRS TO BE REMOVED SHALL BE SAW CUT AND PERMANENTLY CAPPED FLUSH WITH THE TOP SIDE OF MECHANICAL FASTENERS. REMOVE FLASHINGS FROM ALL VTRS TO REMAIN.
 - RAISE EXISTING PTAC UNIT TO UNDERSIDE OF CONCRETE WINDOW SILL. THIS MODIFICATION WILL REQUIRE REMOVAL OF EXISTING CURB FLASHINGS AND REPAIRS TO CONCRETE. RECONNECTION OF THE EXISTING PTAC UNIT EXTENSION OF PLUMBING LINES TO THE PTAC UNIT AND REPAIRS TO BRICK MASONRY AND INTERIOR FINISHES INCLUDING FLOOR AND WALL FINISHES. ALL ALTERED OR AFFECTED SURFACES AND MATERIALS WILL BE RETURNED UPON COMPLETION OF THE WORK BY THE CONTRACTOR TO PRE-CONSTRUCTION CONDITIONS OR NEW/AS-BUILT. (REFERENCE SHEET A122)
 - REMOVE EXISTING WINDOWS AT CENTRAL ROOF SECTION ELEVATED ROOF APPURTENANCE. SEE ROOF PLAN NOTES FOR ADDITIONAL INFORMATION FOR INFILL CONSTRUCTION AT THESE WALL OPENINGS. (REFERENCE SHEET A122)
 - REMOVE ALL ROOFTOP HVAC UNIT CONDENSATE LINES.
 - PORTIONS OF SELECTED ROOFTOP DUCTWORK WILL BE TEMPORARILY DISCONNECTED. REFER TO HVAC PLANS. (NOTE: AFTER ROOFING OF THE AREA BENEATH THE DUCTWORK IS COMPLETED, THE CONTRACTOR SHALL RECONNECT THE DUCTWORK ASSEMBLY TO ITS ORIGINAL CONFIGURATION. THE CONTRACTOR WILL EXERCISE MEASURES TO INSURE THAT NO PORTION OF THE BUILDING SHALL BE WITHOUT HEAT OR AIR CONDITIONING AT ANY TIME DURING THE COURSE OF THIS PROJECT. REFER TO MECHANICAL.
 - RAISE ALL EXISTING ROOFTOP UTILITY SERVICES INCLUDING WATER LINES, TELECOMMUNICATIONS, ELECTRIC AND GAS SERVICE LINES TO PREVENT INTERFERENCE WITH ROOFTOP SURFACE STORM WATER DRAINAGE AND DIRECT CONTACT WITH THE NEW ROOF STRUCTURE. EXTENSIONS TO EXISTING UTILITY SERVICE CONDUITS REQUIRED TO RAISE THESE ITEMS ARE THE CONTRACTOR'S RESPONSIBILITY. ALL UTILITY SERVICES SHALL BE WITHOUT FULL UTILITY SERVICE AT ANY TIME DURING THE COURSE OF THIS PROJECT.
 - EXISTING CURB FLASHINGS WILL BE REMOVED. CURB HEIGHTS WILL BE MODIFIED AND CURBS WILL BE REPLACED WITH NEW CURBS. REFER TO MECHANICAL PLANS FOR CURB ROOF OR AS OTHERWISE INDICATED FOR REPLACEMENT ON THE DRAWINGS. REFER TO NEW ROOF PLAN AND MECHANICAL PLANS.
 - NOT USED.
 - REROOFING OF THE ASPHALT SHINGLED HIGH PITCH ROOF PORTION OF THE BUILDING IS NOT INCLUDED IN THE SCOPE OF THIS PROJECT EXCEPT FOR MODIFICATIONS AT THE PERIMETER JUNCTION WITH THE LOW SLOPE ROOFED AREAS. (REFERENCE SHEET A122)
 - ALUMINUM CANOPIES ARE NOT INCLUDED IN THE SCOPE OF THIS PROJECT AND ARE TO BE PROTECTED DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
 - NOT USED.
 - THE CONTRACTOR SHALL TEMPORARILY REMOVE AND THEN REINSTALL ALL ROOF ACCESS LADDERS, STAIRS, AND OTHER MISCELLANEOUS STEEL ACCESS WALKWAY ASSEMBLIES IN CONJUNCTION WITH THE INSTALLATION OF NEW ROOF. ALL STEEL ROOF ACCESS ASSEMBLIES SHALL BE CLEANED WITH A WIRE BRUSH AND REPAINTED PRIOR TO REINSTALLATION.
 - SAW CUT ALL ABANDONED THRU-WALL CONDUITS, PIPES, ETC. FLUSH WITH EXTERIOR WALL SURFACE AND CAP WITH 18 GA. MIN. FLAT METAL PLATE FASTENED TO WALL SURFACE WITH COUNTERSUNK FASTENERS PRIOR TO ROOFING. CONFIRM REMOVAL WITH ARCHITECT PRIOR TO DEMOLITION.
 - EXISTING ROOF HATCH, MODIFY CURB HEIGHT AS REQUIRED TO ACCOMMODATE NEW FINISHED ROOF ELEVATION.



1 WEST ROOF DEMOLITION PLAN
 SCALE: 1/16" = 1'-0"
 A-121

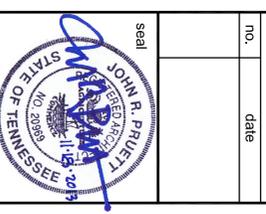
GENERAL ROOF NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL AND DISPOSAL OF THE EXISTING SINGLE MEMBRANE ROOFING SYSTEM INCLUDING ALL UNDERLAYS, INSULATIONS, ADHESIVES, MECHANICAL FASTENERS, FLASHINGS, DOWNSPOUTS, AND COLLECTION BOXES, AND DOWNSPOUTS, AND EQUIPMENT AS DESIGNATED BY THE CONTRACT DOCUMENTS. A HAZARDOUS MATERIALS ABATEMENT REPORT PREPARED BY ENVIRONMENT, INC AND DATED JULY 18, 2013 IS AVAILABLE UPON REQUEST FROM THE ARCHITECT AND THE CONTRACTOR WILL FOLLOW ALL INSTRUCTIONS FOR THE SAFE REMOVAL OF ANY HAZARDOUS MATERIALS CONTAINING PRODUCTS AND CONSTRUCTION AS IF INCLUDED HEREIN.
- THE CONTRACTOR WILL INSTALL A COMPLETE NEW FULLY ADHERED SINGLE PLY ROOF SYSTEM OVER A NEW ROOFTOP TAPERED INSULATION UNDERLAY.
- SURFACE ROOF DRAINAGE DESIGN WILL BE AS INDICATED BY THE CONTRACT DOCUMENTS. TAPERED ROOF INSULATION DESIGN WITH SHOP DRAWINGS FOR ARCHITECT APPROVAL WILL BE PROVIDED BY THE CONTRACTOR.
- IN CONJUNCTION WITH THE ROOFING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL EXISTING MECHANICAL EQUIPMENT AND DOWNSPOUTS WITHIN THE SCOPE OF THE WORK AS DIRECTED BY THE CONTRACT DOCUMENTS.
- THE CONTRACTOR WILL INSTALL A NEW ROOFTOP HVAC EQUIPMENT CONDENSATE DISCHARGE PLUMBING SYSTEM AS INDICATED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL INSTALL AN SRS HEAT-WELDED MODIFIED BITUMEN ROOF MOISTURE BARRIER OVER EXPOSED CONCRETE ROOF DECK AS THE DEMOLITION WORK PROGRESSES.
- EXISTING ELECTRICAL CONDUITS, COMMUNICATIONS, AND LOW VOLTAGE CABLES ARE NOT SHOWN ON THE PLANS FOR CLARITY PURPOSES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL ROOFTOP UTILITY AND COMMUNICATION SERVICE INFRASTRUCTURE WHETHER INDICATED ON THE PLANS OR NOT. FURTHERMORE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INSTALLATION OF THE NEW ROOFING SYSTEM WITH THE EXISTING INFRASTRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING FULL UTILITY & COMMUNICATIONS SERVICES AT ALL TIMES DURING CONSTRUCTION.

SYMBOL LEGEND

- | | |
|---|---|
| <ul style="list-style-type: none"> ✕ VENT THRU ROOF TO BE DEMOLISHED. (SEE DEMOLITION NOTE 7 AND DEMOLITION SHEETS). • ELEC. / PLUMB. / MECH. PIPE ROOF PENETRATION. DIMENSIONS (CONCRETE DIMETER IN FIELD AND CONCRETE WITH DETAILS 1/8x52 AND 1/8x52) + ROOF DRAIN RETROFIT / INSERT (SEE DETAIL 2/A522) ▬ PITCH POCKET (SEE DETAIL 2/A522) — EXISTING ELECTRICAL PANEL (SEE ALSO ELECTRICAL SHEETS) ⊠ ROOFTOP EQUIPMENT — KEYNOTE Ⓢ DRAWING REFERENCE FOR DETAIL / SECTION CUT | <ul style="list-style-type: none"> → NEW ROOF SLOPE DIRECTION (1/8" per foot TAPERED INSULATION) → NEW ROOF SLOPE DIRECTION (1/4" per foot TAPERED INSULATION) — c CONDENSATE LINE — GAS LINE — WATER LINE — v EXPANSION JOINT ▬ PLASTER OR GYPSBOARD ▬ EXISTING ACOUSTICAL CEILING TILE ▬ NEW ACOUSTICAL CEILING TILE ○ EXISTING LANDSCAPING |
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sheet name	CENTRAL ROOF DEMOLITION PLAN
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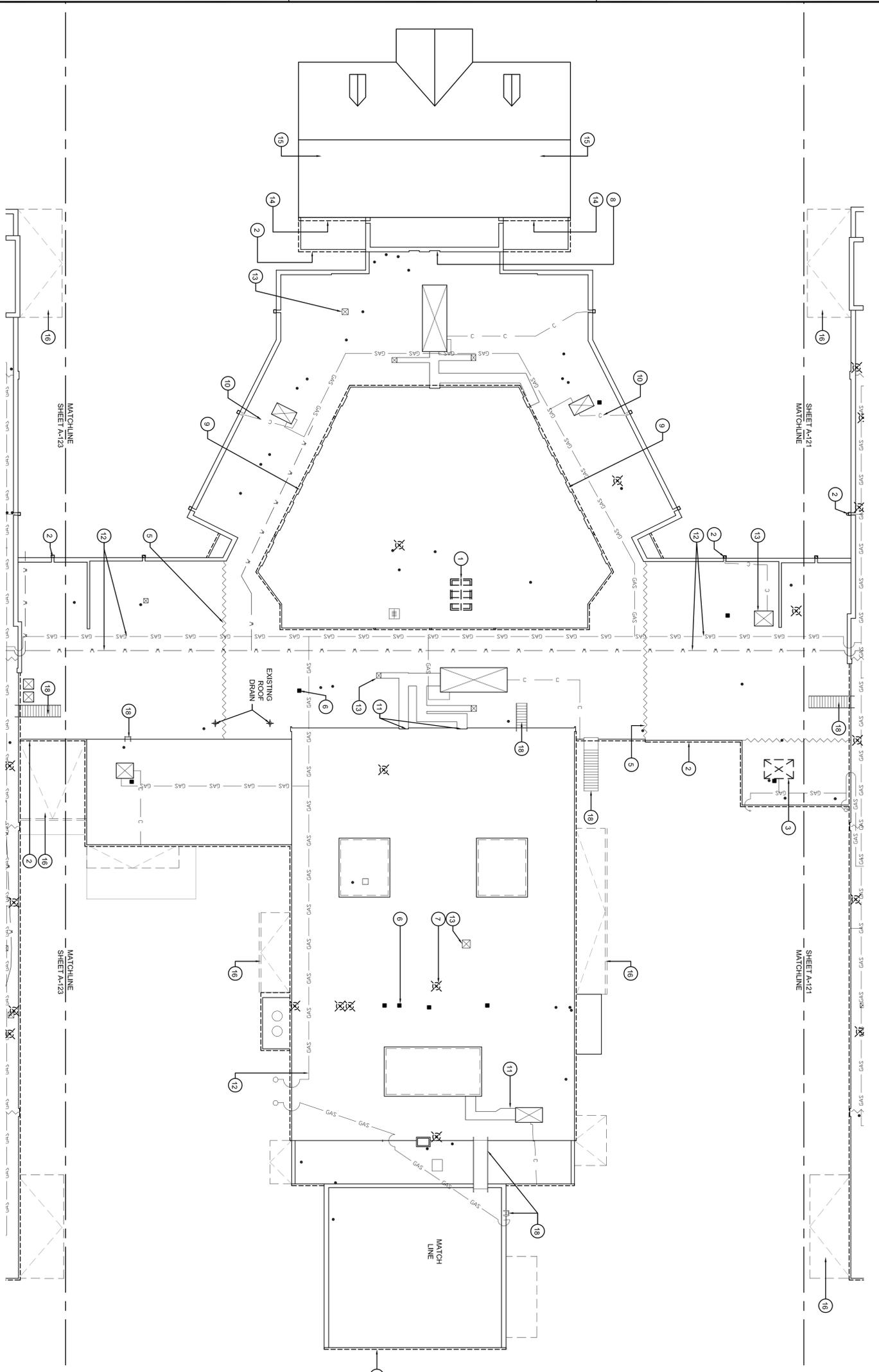
A-122

DEMOLITION KEY NOTES

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 - NOT USED.
 - REMOVE ALL ROOFTOP EXPANSION JOINTS.
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 - RAISE EXISTING PTAC UNIT TO UNDERSIDE OF CONCRETE WINDOW SILL. THIS MODIFICATION WILL REQUIRE REMOVAL OF EXISTING CONCRETE CURB AND REPAIRS TO CONCRETE. RECONNECTION OF THE EXISTING PTAC UNIT EXTENSION OF PLUMBING LINES TO THE PTAC UNIT AND REPAIRS TO BRICK MASONRY AND INTERIOR FINISHES INCLUDING FLOOR AND WALL FINISHES. ALL ALTERED OR AFFECTED SURFACES AND MATERIALS WILL BE RETURNED UPON COMPLETION OF THE WORK BY THE CONTRACTOR TO PRE-CONSTRUCTION CONDITIONS OR NEW (Labeled, REFERENCE SHEET A122).
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 - EXISTING ROOF HATCH, MODIFY CURB HEIGHT AS REQUIRED TO ACCOMMODATE NEW FINISHED ROOF ELEVATION.

CENTRAL ROOF DEMOLITION PLAN

SCALE: 1/16" = 1'-0"



SYMBOL LEGEND

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|---|--|
| <ul style="list-style-type: none"> ✗ VENT THRU ROOF TO BE DEMOLISHED (SEE DEMOLITION NOTE 7 AND DEMOLITION SHEETS) • ELEC. / PLUMB. / MECH. PIPE ROOF PENETRATION, DIAMETER VARIES (CONFIRM DIAMETER IN FIELD AND COORDINATE WITH DETAILS 1/4502 AND 10/4502) + ROOF DRAIN RETROFIT / INSERT (SEE DETAIL 3/4502) ■ PITCH POCKET (SEE DETAIL 2/4502) — EXISTING ELECTRICAL PANEL (SEE ALSO ELECTRICAL SHEETS) ⊠ ROOFTOP EQUIPMENT ○ KEYNOTE ⊞ DRAWING REFERENCE FOR DETAIL / SECTION CUT | <ul style="list-style-type: none"> → NEW ROOF SLOPE DIRECTION (1/8" PER FOOT TAPERED INSULATION) → NEW ROOF SLOPE DIRECTION (NEW PAR FOOT TAPERED INSULATION) — CONDENSATE LINE — GAS LINE — WATER LINE ~ EXPANSION JOINT ▨ PLASTER OR GYPSBOARD ▨ EXISTING ACOUSTICAL CEILING TILE ▨ NEW ACOUSTICAL CEILING TILE ○ EXISTING LANDSCAPING |
|---|--|

GENERAL ROOF NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL AND DISPOSAL OF THE EXISTING SINGLE MEMBRANE ROOFING MECHANICAL FASTENERS, FLASHINGS, ROOF EDGE CUTTERS, SOUPERS, COLLECTION BOXES, AND DOWNSPOUTS, AND EQUIPMENT AS DESIGNATED BY THE CONTRACT DOCUMENTS. A HAZARDOUS MATERIALS ASSESSMENT REPORT PREPARED BY ENVIROFORM, INC AND DATED JULY 18, 2013 IS AVAILABLE UPON REQUEST FROM THE ARCHITECT AND THE CONTRACTOR SHALL FOLLOW ALL INSTRUCTIONS FOR THE SAFE REMOVAL OF ANY HAZARDOUS MATERIALS CONTAINING PRODUCTS AND CONSTRUCTION AS IF INCLUDED HEREIN.
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- IN CONJUNCTION WITH THE REROOFING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MISCELLANEOUS REPAIRS AND MODIFICATIONS ASSOCIATED WITH THE SCOPE OF THE WORK AS DIRECTED BY THE CONTRACT DOCUMENTS.
- THE CONTRACTOR WILL INSTALL A NEW ROOFTOP HVAC EQUIPMENT CONDENSATE DISCHARGE PLUMBING SYSTEM AS INDICATED BY THE CONTRACT DOCUMENTS.
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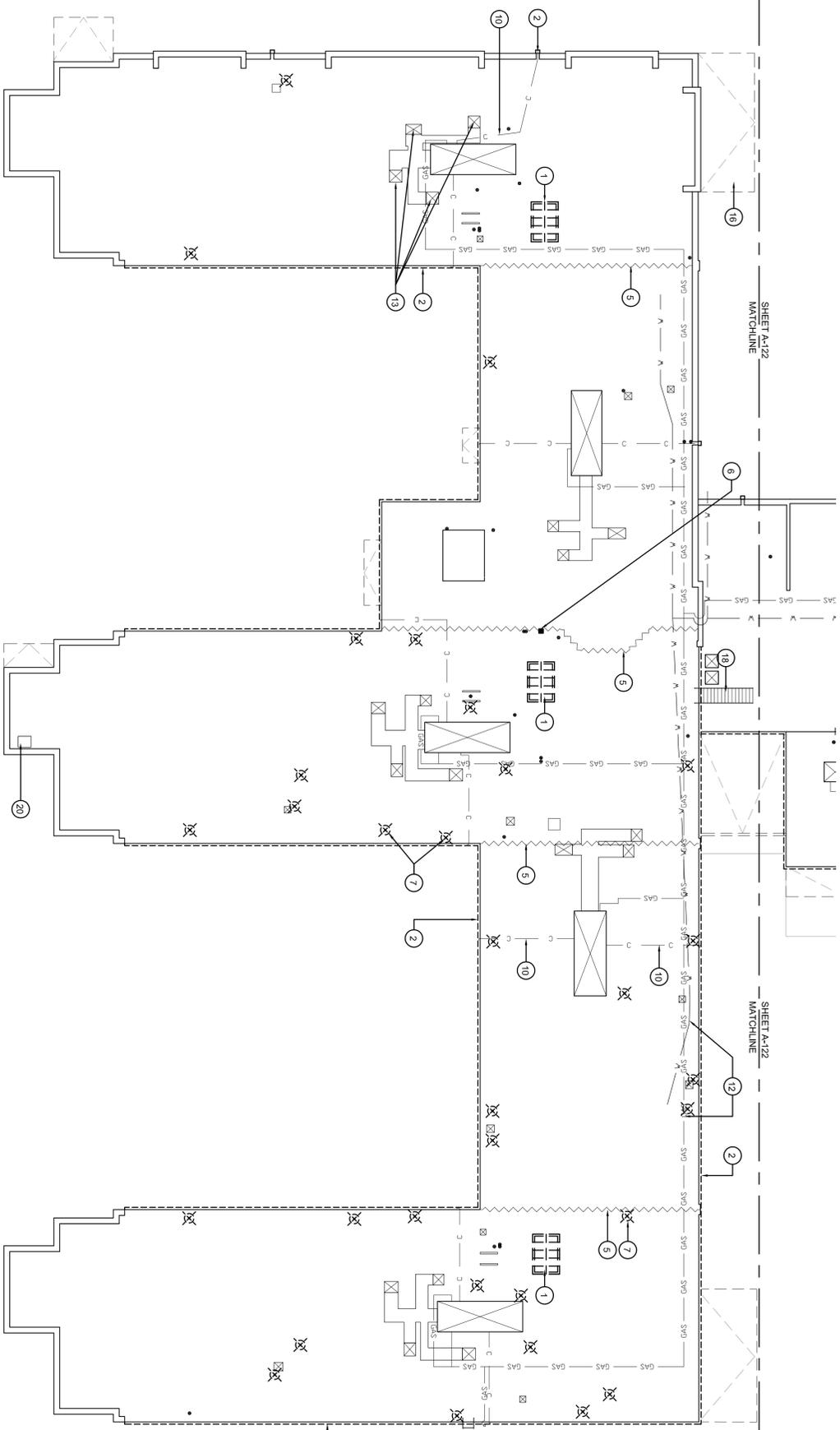
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sheet name	EAST ROOF DEMOLITION PLAN
date	11.18.2013

A-123

DEMOLITION KEY NOTES

- NOTE TO CONTRACTOR:**
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 - REMOVE ALL EXISTING ROOF EDGE GUTTERS, FLASHINGS, DOWNSPOUTS, AND COLLECTION BOXES.
 - REMOVE EXISTING ABANDONED MECHANICAL UNIT AND CURB. INFILL EXISTING ROOF DECK OPENING. REFER TO PLANS AND DETAILS FOR ADDITIONAL INFORMATION. CONFORM REMOVE WITH ARCHITECT PRIOR TO DEMOLITION.
 - NOT USED
 - REMOVE ALL ROOFTOP EXPANSION JOINTS.
 - REMOVE ALL EXISTING PITCH POCKETS.
 - REMOVE EXISTING ABANDONED VTRS AT ALL LOCATIONS INDICATED ON DRAWINGS. VTRS TO BE REMOVED SHALL BE SAW CUT AND PERMANENTLY CAPPED FLUSH WITH THE TOP SIDE OF MECHANICAL FASTENERS. REMOVE FLASHINGS FROM ALL VTRS TO REMAIN.
 - RAISE EXISTING PTCAC UNIT TO UNDERSIDE OF CONCRETE WINDOW SILL. THIS MODIFICATION WILL REQUIRE REMOVAL OF EXISTING CURB AND FLASHING. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. THE CONTRACTOR WILL EXERCISE MEASURES TO INSURE THAT NO PORTION OF THE BUILDING SHALL BE WITHOUT HEAT OR AIR CONDITIONING AT ANY TIME DURING THE COURSE OF THIS PROJECT. REFER TO MECHANICAL.
 - PORTIONS OF SELECTED ROOFTOP DUCTWORK WILL BE TEMPORARILY DISCONNECTED. REFER TO HVAC PLANS. (NOTE: AFTER REROOFING OF THE AREA BENEATH THE DUCTWORK ASSEMBLED TO ITS ORIGINAL CONFIGURATION. THE CONTRACTOR WILL EXERCISE MEASURES TO INSURE THAT NO PORTION OF THE BUILDING SHALL BE WITHOUT HEAT OR AIR CONDITIONING AT ANY TIME DURING THE COURSE OF THIS PROJECT. REFER TO MECHANICAL.
 - RAISE ALL ROOFTOP HVAC UNIT CONDENSATE LINES.
 - BASE ALL EXISTING ROOFTOP UTILITY SERVICES INCLUDING WATER LINES, TELECOMMUNICATIONS, ELECTRIC AND GAS SERVICE LINES TO PREVENT INTERFERENCE WITH ROOFTOP SURFACE STORM WATER DRAINAGE AND DIRECT CONTACT WITH THE NEW ROOF STRUCTURE. EXTENSIONS TO EXISTING UTILITY SERVICE CONDUITS REQUIRED TO MAKE THESE ITEMS AS THE CONTRACTOR SHALL BE WITHOUT FULL UTILITY SERVICE AT ANY TIME DURING THE COURSE OF THIS PROJECT.
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 - ALUMINUM CANOPIES ARE NOT INCLUDED IN THE SCOPE OF THIS PROJECT AND ARE TO BE PROTECTED DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
 - NOT USED.
 - THE CONTRACTOR SHALL TEMPORARILY REMOVE AND THEN REINSTALL ALL ROOF ACCESS LADDERS, STAIRS, AND OTHER MISCELLANEOUS STEEL ACCESS WALKWAY ASSEMBLIES IN CONJUNCTION WITH THE INSTALLATION OF NEW ROOF. ALL STEEL ROOF ACCESS ASSEMBLIES SHALL BE CLEANED WITH A WIRE BRUSH AND REPAINTED PRIOR TO REINSTALLATION.
 - SAW CUT ALL ABANDONED THRU-WALL CONDUITS, PIPES, ETC. FLUSH WITH EXTERIOR WALL SURFACE AND CAP WITH 18 GA. MIN. FLAT METAL PLATE FASTENED TO WALL SURFACE WITH COUNTERSUNK FASTENERS PRIOR TO REROOFING. CONFORM REMOVE WITH ARCHITECT PRIOR TO DEMOLITION.
 - EXISTING ROOF HATCH, MOOPY CURB HEIGHT AS REQUIRED TO ACCOMMODATE NEW FINISHED ROOF ELEVATION.



1 EAST ROOF DEMOLITION PLAN
 SCALE: 1/16" = 1'-0"

SYMBOL LEGEND

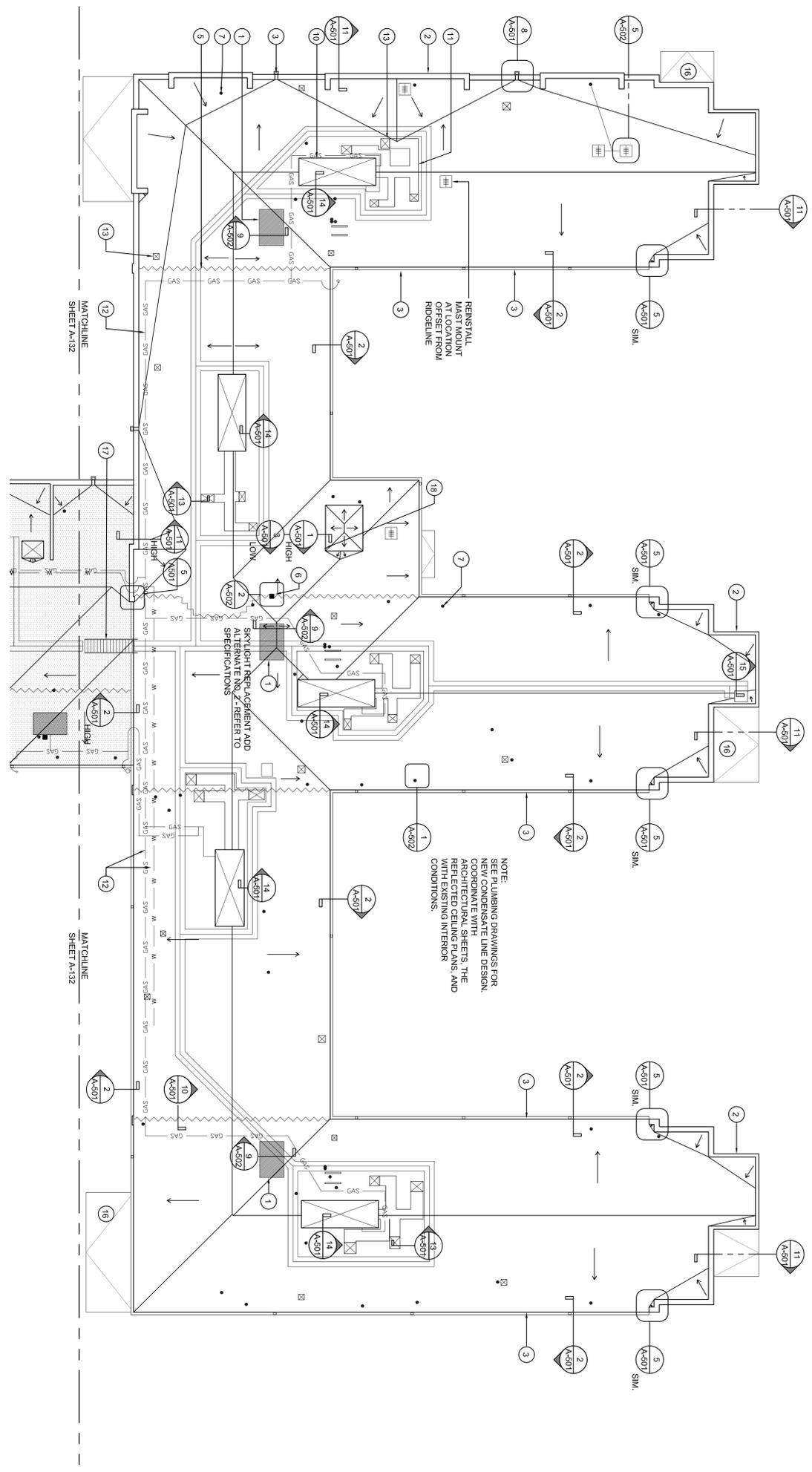
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 - ELEC. / PLUMB. / MECH. PIPE ROOF PENETRATION. DIAMETER VARIES. (CONFORM DIAMETER IN FIELD AND COORDINATE WITH DETAILS 1/A502 AND 10/A502)
 - + ROOF DRAIN RETROFIT / INSERT (SEE DETAIL 3/A602)
 - ▣ PITCH ROCKET (SEE DETAIL 2/A602)
 - EXISTING ELECTRICAL PANEL (SEE ALSO ELECTRICAL SHEETS)
 - ⊠ ROOFTOP EQUIPMENT
 - KENNOTE
 - ⊞ DRAWING REFERENCE FOR DETAIL / SECTION CUT
-
- NEW ROOF SLOPE DIRECTION (1/8" PER FOOT TAPERED INSULATION)
 - NEW ROOF SLOPE DIRECTION (1/4" PER FOOT TAPERED INSULATION)
 - CONDENSATE LINE
 - GAS LINE
 - WATER LINE
 - ~ EXPANSION JOINT
 - ▨ PLASTER OR GYPBOARD
 - ▧ EXISTING ACOUSTICAL CEILING TILE
 - ▩ NEW ACOUSTICAL CEILING TILE
 - EXISTING LANDSCAPING

GENERAL ROOF NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL AND DISPOSAL OF THE EXISTING SINGLE MEMBRANE ROOFING SYSTEM INCLUDING ALL UNDERLAYMENTS, INSULATIONS, ADHESIVES, COLLECTION BOXES, AND DOWNSPOUTS, AND EQUIPMENT AS DESIGNATED BY THE CONTRACT DOCUMENTS. A HAZARDOUS MATERIALS ASSESSMENT REPORT PREPARED BY ENVIRONMENT, INC AND DATED JULY 18, 2013 IS AVAILABLE UPON REQUEST FROM THE ARCHITECT AND THE CONTRACTOR WILL FOLLOW ALL INSTRUCTIONS FOR THE SAFE REMOVAL OF ANY HAZARDOUS MATERIAL CONTAINING PRODUCTS AND CONSTRUCTION AS IF INCLUDED HEREIN.
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- EXISTING ELECTRICAL CONDUITS, COMMUNICATIONS AND LOW VOLTAGE CABLES SHALL BE PROTECTED DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL ROOFTOP UTILITY AND COMMUNICATION SERVICE INFRASTRUCTURE WHETHER INDICATED ON THE PLANS OR NOT. FURTHERMORE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INSTALLATION OF THE NEW ROOFING SYSTEM WITH THE EXISTING INFRASTRUCTURE. THE CONTRACTOR SHALL MAINTAIN FULL UTILITY & COMMUNICATIONS SERVICES AT ALL TIMES DURING CONSTRUCTION.

ROOF PLAN KEY NOTES

- NOTE TO CONTRACTOR: THE KEY NOTED ARE INTENDED TO BE TYPICAL IN NATURE AND APPLICABLE TO ALL SIMILAR CONDITION LOCATIONS IN ADDITION TO THOSE SPECIFICALLY REFERENCED ON THE DRAWINGS UNLESS OTHERWISE INDICATED AS AN ISOLATED SITUATION CONDITION.
1. INITIAL EXISTING ROOF DECK OPENINGS WHERE SKYLIGHTS WERE REMOVED REFER TO PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
 2. INSTALL NEW PRESSURE TREATED WOOD BLOCKING OVER EXISTING CONCRETE WALL CORNERS. INSTALL NEW SINGLE MEMBRANE ROOFING SYSTEM TO COVER INTERIOR FACE OF PARAPET WALL. EXTEND METAL EDGE TERMINATION STRIP ON THE EXTERIOR SIDE OF PARAPET. REFERENCE DETAIL 11A4501.
 3. INSTALL MANUFACTURED ALUMINUM ROOF-EDGE GUTTERS, FLASHINGS, AND DOWNSPOUTS TO DISCHARGE DIRECTLY ONTO GRADE OR EXISTING DRAINAGE SYSTEMS. PROVIDE AN ALUMINUM SCOPER COLLECTION BOXES. NEW BUILDING DOWNSPOUTS AND SCOPER LOCATIONS UNLESS NOTED OTHERWISE ON THE DRAWINGS. REUSE EXISTING CONCRETE SPLASH BLOCKS WHERE AVAILABLE AND SUPPLY NEW SPLASH BLOCKS WHERE NONE CURRENTLY EXISTS.
 4. NOT USED.
 5. NEW ROOF-TOPE EXPANSION JOINT. REFER TO DETAILS AND SPECIFICATIONS.
 6. NEW ROOF PENETRATION PITCH POCKET. TYPICAL AT ALL REPLACEMENT OR NEW LOCATIONS. SEE DETAIL 2A4502. (Also refer to Sheet E1)
 7. EXTEND ALL EXISTING VTRS TO REMAIN TO A MINIMUM OF 8" ABOVE NEW FINISHED ROOF PLANE AND INSTALL NEW FLASHINGS.
 8. RAISE EXISTING PTAC UNIT TO UNDERSIDE OF CONCRETE WINDOW SILL. THIS MODIFICATION WILL REQUIRE MODIFICATIONS TO A PORTION OF THE EXTERIOR WALL. DISCONNECTION AND RECONNECTION OF THE EXISTING PTAC UNIT. EXTENSION OF PLUMBING LINES TO THE PTAC UNIT AND REPAIRS TO BRICK MASONRY, REPAIRS TO INTERIOR FINISHES AND REPAIRS TO INTERIOR WALLS AND REPAIRS TO INTERIOR CEILING SHALL BE RETURNED UPON COMPLETION OF THE WORK BY THE CONTRACTOR TO PRE-CONSTRUCTION CONDITIONS OR REPLACED. (REFERENCE SHEET A-132)
 9. CLOSE ALL WINDOW OPENINGS IN CENTRAL SECTION RAISED WALL UNIT. EXISTING WINDOW OPENINGS SHALL BE REFINISHED WITH NEW CONSTRUCTION TO CONSIST OF 18 GA. 24 METAL STUDS AT 16" O.C., FINISH EXTERIOR SIDE WITH 5/8" EXTERIOR GRADE FIBERGLASS MAT PERIMETER EDGES WITH SILICONE SEALANT. FINISH INTERIOR SIDE WITH 1/2" GYPSUM BOARD. TAPE ALL JOINTS AND SEAL PERIMETER EDGES WITH LATEX SEALANT. PAINT INTERIOR SIDE OF NEW FINISH PAINT. COLORS AS SELECTED BY ARCHITECT. FILL STUD CAVITY OF NEW CONSTRUCTION WITH R-13 BATT INSULATION. (REFERENCE SHEET A-132)
 10. INSTALL NEW CONDENSATE LINES FOR EACH ROOF TOP HVAC UNIT. CONDENSATE LINES SHALL BE INSTALLED IN THE FINISH ROOF DECK. LOCATIONS SHOWN ON THE DRAWINGS. RAISE THE FINISH ROOF ABOVE INTERIOR CEILING TO ACTIVE VTR. TAP INTO VTR ABOVE INTERIOR CEILING AND INSTALL DEEP SEAL TRAPS. REFER TO PLUMBING DRAWINGS FOR ALL THE IN LOCATIONS AND PIPE ROUTING. (PLUMBING PLANS. NOTE: PLUMBING MODIFICATIONS WILL TAKE PLACE IN BELOW CEILING ONLY WHERE SPECIFICALLY INDICATED ON PLUMBING PLANS. NOTE: PLUMBING MODIFICATIONS WILL TAKE PLACE IN THE INTERIOR BUILDING FINISHES AND THE BUILDING OCCUPANTS. ALL SUSPENDED CEILING THAT ARE REQUIRED TO BE DISMANTLED WILL BE REASSEMBLED TO THE SAME CONDITION AND CONFIGURATIONS THAT CURRENTLY EXIST. REFER TO REFLECTED CEILING PLANS. ALL WILL BE REPAIRED. ALL DAMAGED PAINTED SURFACES WILL BE REPAIRED. THE CONTRACTOR IS RESPONSIBLE TO REPAIR AND/OR REPLACE ANY DAMAGED INTERIOR FURNISHINGS, FIXTURES, EQUIPMENT, AND CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
 11. PORTIONS OF SELECTED ROOFTOP DUCTWORK WILL BE TEMPORARILY DISCONNECTED. REFER TO HVAC PLANS. NOTE: AFTER ROOFING OF THE AREA BENEATH THE DUCTWORK FOOTPRINT IS COMPLETED THE DUCTWORK WILL BE ASSEMBLED TO ITS ORIGINAL CONFIGURATION. THE CONTRACTOR WILL EXERCISE MEASURES TO INSURE THAT NO PORTION OF THE BUILDING SHALL BE WITHOUT HEAT OR AIR CONDITIONING AT ANY TIME DURING THE COURSE OF THIS PROJECT. REFER TO MECHANICAL.
 12. RAISE ALL EXISTING ROOFTOP UTILITY SERVICES INCLUDING WATER LINES, TELECOMMUNICATIONS, ELECTRIC AND GAS SERVICE LINES TO PREVENT INTERFERENCE WITH ROOFTOP SURFACE STORM WATER DRAINAGE AND DIRECT CONTACT WITH THE NEW ROOF STRUCTURE. RAISE THESE ITEMS ARE THE CONTRACTOR'S RESPONSIBILITY. NO PORTION OF THE BUILDING SHALL BE WITHOUT FULL UTILITY SERVICE AT ANY TIME DURING THE COURSE OF THIS PROJECT.
 13. EXISTING CURB FLASHINGS WILL BE REMOVED. CURB HEIGHTS WILL BE RECONSTRUCTED TO MATCH EXISTING CURB HEIGHTS. PROVIDE MINIMUM CLEARANCE TO NEW ROOF OR AS OTHERWISE INDICATED ON THE DRAWINGS. REFER TO NEW ROOF PLAN AND MECHANICAL PLANS.
 14. REFER TO ROOF PLANS AND DETAILS FOR INTERSECTION OF NEW LOW SLOPE ROOF AND EXISTING ASPHALT SHINGLE ROOF TO REMAIN. (SEE REFERENCE SHEET A-132)
 15. RECONSTRUCTION OF THE ASPHALT SHINGLED HIGH PITCH ROOF PORTION OF THE BUILDING IS NOT INCLUDED IN THE SCOPE OF THIS PROJECT EXCEPT FOR MODIFICATIONS AT THE PERIMETER JUNCTURE WITH THE LOW SLOPE ROOFED AREAS.
 16. ALUMINUM CONEPTS ARE NOT INCLUDED IN THE SCOPE OF THIS PROJECT. THEY ARE TO BE PROTECTED DURING CONSTRUCTION.
 17. THE CONTRACTOR SHALL TEMPORARILY REMOVE AND THEN REINSTALL ALL ROOF ACCESS LADDERS, STAIRS, AND ACCESS DECKS. PROVIDE TEMPORARY SAFETY BARRIERS AND SAFETY BARRIERS WITH A WIRE BRUSH AND REPAINTED PRIOR TO REINSTALLATION. REFER TO PROJECT MANUAL SPECIFICATIONS SECTION 09 99 00 "PAINTING".
 18. SAW CUT ABANDONED THROUGH CURBOUTS, PIPES, ETC. FINISH WITH EXTERIOR WALL SURFACE WITH COUNTERSINK PASTERIES PRIOR TO REROOFING. CONFIRM REMOVAL WITH ARCHITECT PRIOR TO DEMOLITION.
 19. NEW CONDENSATE LINE WALL PENETRATION. SEAL WATERIGHT FLASHING PIPE AND OPENING IN WALL. SEE MECHANICAL FOR LOCATIONS.



WEST ROOF PLAN
 A-131
 SCALE: 1/16" = 1'-0"
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SYMBOL LEGEND

- ✗ VENT THRU ROOF TO BE DEMOLISHED. (SEE DEMOLITION NOTE / AND DEMOLITION SHEETS)
 - ELEC. / PLUMB. / MECH. PIPE ROOF PENETRATION. DIAMETER VARIES. CONFIRM DIAMETER IN FIELD AND COORDINATE WITH DETAILS 1A4502 AND 10A4502
 - + ROOF BRAIN RETROFIT / INSERT (SEE DETAIL 3A4502)
 - ▬ PITCH POCKET (SEE DETAIL 2A4502)
 - ▬ EXISTING ELECTRICAL PANEL (SEE ALSO ELECTRICAL SHEETS)
 - ⊠ ROOFTOP EQUIPMENT
 - KEYNOTE
 - ② DRAWING REFERENCE FOR DETAIL / SECTION CUT (A-500)
-
- NEW ROOF SLOPE DIRECTION. (1/8" per foot TAPERED INSULATION)
 - NEW ROOF SLOPE DIRECTION (1/4" per foot TAPERED INSULATION)
 - CONDENSATE LINE
 - GAS LINE
 - WATER LINE
 - EXPANSION JOINT
 - ▬ PLASTER OR GYPSUM BOARD
 - ▬ EXISTING ACOUSTICAL CEILING TILE
 - ▬ NEW ACOUSTICAL CEILING TILE
 - EXISTING LANDSCAPING

GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT IN WRITING WITHIN 24 HOURS OF THE DISCOVERY OF ANY DISCREPANCIES.
2. FIELD VERIFY THE LOCATION OF ALL EXISTING BUILDING DOWNSPOUT UNDERGROUND STORM SEWER CONNECTION POINTS PRIOR TO CONSTRUCTION. LOCATION OF STORM DRAIN CONNECTION POINTS SHOWN ON DRAWINGS IS APPROXIMATE. ACTUAL LOCATIONS MUST BE FIELD VERIFIED. THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND OBTAIN ALL BUILDING DOWNSPOUT TO STORM SEWER CONNECTIONS.
3. THE EXISTING BUILDING AND PARKING FACILITIES WILL BE OCCUPIED AND CONDUCTING BUSINESS AS USUAL. DURING ALL PHASES OF THE DEMOLITION AND CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY WORKS INCLUDING AND SAFETY BARRIERS TO PROTECT THE EXISTING BUILDING AND PARKING AREAS.
4. REMOVE ALL CONSTRUCTION DEBRIS AT THE END OF EACH WORKDAY. COORDINATE THE LOCATION OF MATERIAL STORAGE, DUMPSTERS, CONSTRUCTION VEHICLES, TEMPORARY TOILETS, PARKING AND OTHER CONSTRUCTION RELATED ACTIVITIES WITH THE ARCHITECT PRIOR TO CONSTRUCTION STAGING.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DISCONNECTIONS AND RE-CONNECTIONS OF ALL UTILITIES AND SERVICES NECESSARY FOR INSTALLATION OF NEW ROOF OR FOR DEMOLITION PURPOSES. BUILDING UTILITIES MAY NOT BE INTERRUPTED AT ANY TIME DURING THIS PROJECT.

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date	11.18.2013

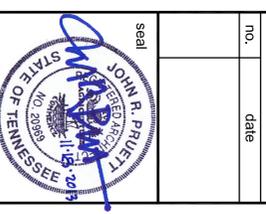
ROOF REPLACEMENT
Peggy Edmiston Administration Building
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revisions table with columns for no. and date.

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A-131

revisions	no.	date



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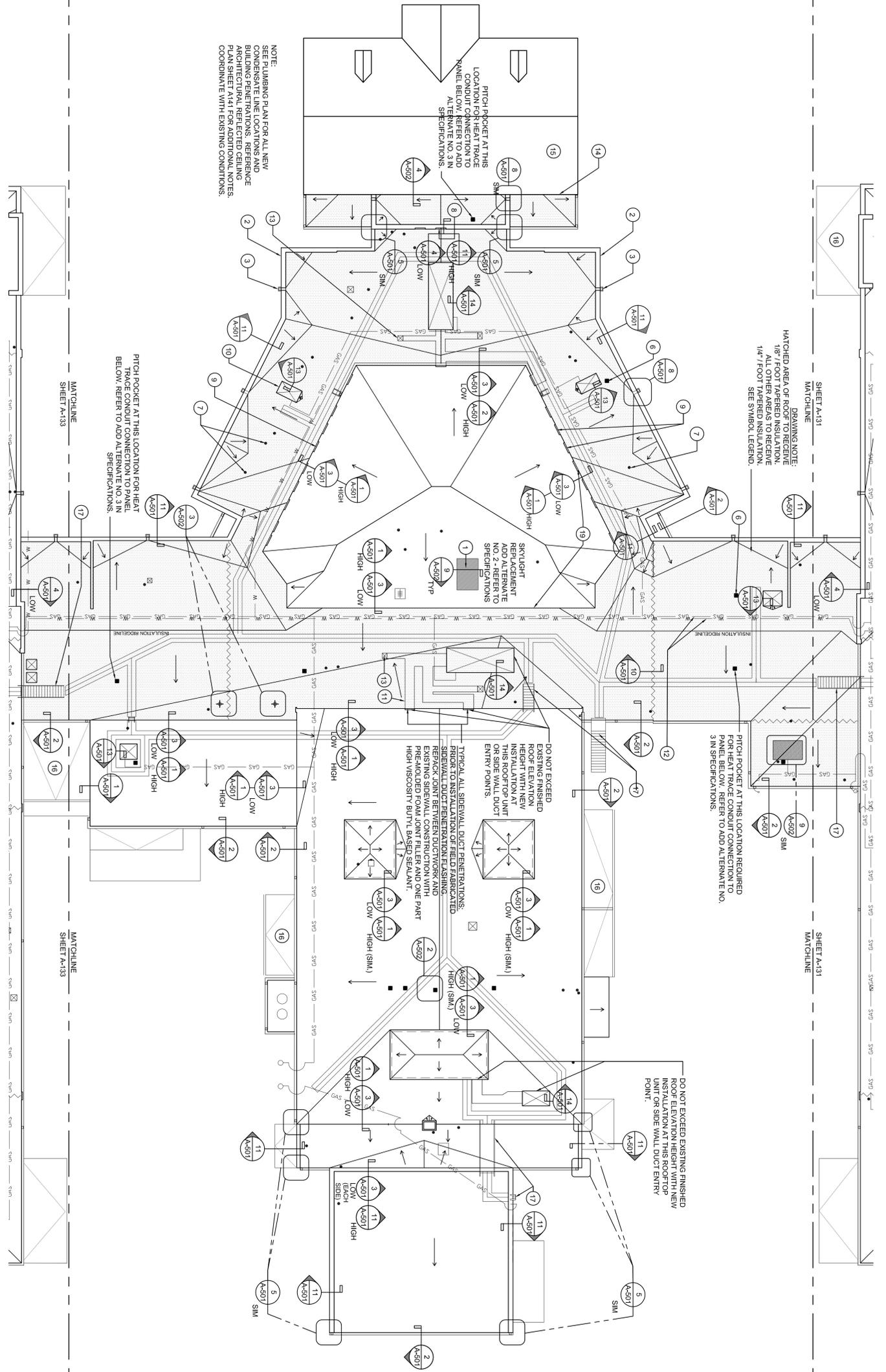
sheet name
CENTRAL ROOF PLAN

date
11.18.2013

A-132

ROOF PLAN KEY NOTES

- NOTE TO CONTRACTOR:**
 THE KEY NOTES ARE INTENDED TO BE TYPICAL IN NATURE AND APPLICABLE TO ALL SIMILAR CONDITION LOCATIONS IN ADDITION TO THE LOCATIONS SHOWN ON THIS DRAWING. REFER TO THE DRAWING OTHERWISE INDICATED AS AN ISOLATED SITUATION CONDITION.
1. IN-PLACE EXISTING ROOF DECK OPENINGS WHERE SKYLIGHTS WERE REMOVED. REFER TO PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
 2. INSTALL NEW PRESSURE TREATED WOOD BLOCKING OVER EXISTING CONCRETE WALL CORNERS. INSTALL NEW SINGLE MEMBRANE ROOFING SYSTEM TO COVER INTERIOR FACE OF PARAPET WALL. EXTEND MEMBRANE OVER TOP OF NEW BLOCKING AND SECURE WITH SHEET METAL EDGE TERMINATION STRIP ON THE EXTERIOR SIDE OF PARAPET. REFERENCE DETAIL T145011.
 3. INSTALL MANUFACTURED ALUMINUM ROOF EDGE GUTTERS, FLASHINGS, AND DOWNSPOUTS TO DISCHARGE DIRECTLY ONTO GRADE LEVEL. CONCRETE SPLASH BLOCKS. REPLACE ALL SCUPPER COLLECTION BOXES WITH MANUFACTURED ALUMINUM SCUPPER COLLECTION BOXES. NEW BUILDING DOWNSPOUTS AND SCUPPER COLLECTION BOXES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCATIONS UNLESS NOTED OTHERWISE ON THE DRAWINGS. REUSE EXISTING CONCRETE SPLASH BLOCKS WHERE AVAILABLE AND SUPPLY NEW SPLASH BLOCKS WHERE NONE CURRENTLY EXISTS.
 4. NOT USED.
 5. NEW ROOFTOP EXPANSION JOINT. REFER TO DETAILS AND SPECIFICATIONS.
 6. NEW ROOF PENETRATION PITCH POCKET - TYPICAL AT ALL REPLACEMENT OR NEW LOCATIONS. SEE DETAIL 2A502. (Also refer to sheet E1)
 7. EXTEND ALL EXISTING VTRS TO REMAIN TO A MINIMUM OF 8" ABOVE NEW FINISHED ROOF PLANE AND INSTALL NEW FLASHINGS.
 8. RAISE EXISTING PTAC UNIT TO UNDERSIDE OF CONCRETE WINDOW OR THE EXTERIOR WALL. REPAIR ROOF DECK AND RECONSTRUCT ON EXISTING PTAC UNIT. EXTENSION OF PLUMBING LINES TO THE PTAC UNIT. AND REPAIR TO BRICK MASONRY. REPAIRS TO INTERIOR PLASTER WALL AND INTERIOR FINISHES INCLUDING FLOOR AND WALL FINISHES. ALL ALTERED OR AFFECTED SURFACES AND MATERIALS WILL BE RETURNED UPON COMPLETION OF THE WORK BY THE CONTRACTOR TO ORIGINAL CONSTRUCTION CONDITIONS, OR REPLACED. (REFERENCE SHEET A-132).
 9. CLOSE ALL WINDOW OPENINGS IN CENTRAL SECTION BASED WALL FLUSH WITH MASONRY (EXTERIOR) SIDE OF WALL OPENING. INFILL CONSTRUCTION TO CONSIST OF 18 GA. 2x4 METAL STUDS AT 16" O.C. MIN. FACED GYPSUM SHEATHING BOARD. TAPE ALL JOINTS AND SEAL PERIMETER EDGES WITH SILICONE SEALANT. FINISH INTERIOR SIDE WITH 1/2" GYPSUM BOARD. TAPE ALL JOINTS AND SEAL PERIMETER EDGES WITH LATEX SEALANT. PAINT INTERIOR SIDE OF NEW CONSTRUCTION WITH (1) COAT OF PRIMER AND (2) COATS OF FINISH PAINT. COLOR AS SELECTED BY ARCHITECT. FILL STUD CAVITY OF NEW CONSTRUCTION WITH R13 BATT INSULATION. (REFERENCE SHEET A-132)
 10. INSTALL NEW CONDENSATE LINES FOR EACH ROOF TOP HVAC UNIT BY CORE DRILLING NEW EXIST HOLE FOR CONDENSATE LINE THRU ROOF DECK AT LOCATIONS SHOWN ON PLUMBING PLANS AND RUNNING LINE HANGERS AND TIE-INS TO EXTERIOR. TAPE AND SEAL ALL JOINTS AND PLUMBING DRAWINGS FOR ALL TIE-IN LOCATIONS AND PRE-RUNTINGS. THE IN-BELOW CEILING ONLY WHERE SPECIFICALLY INDICATED ON PLUMBING PLANS. NOTE: PLUMBING MODIFICATIONS WILL TAKE PLACE BOTH ABOVE AND BELOW THE ROOF DECK. INTERIOR MODIFICATIONS WILL BE EXECUTED IN A MANNER THAT IS THE LEAST DISRUPTIVE TO ALL EXISTING CONDITIONS. ALL EXISTING CONDITIONS TO BE REASSEMBLED TO THE SAME CONDITION AND CONFIGURATIONS THAT CURRENTLY EXIST. REFER TO REFLECTED CEILING PLANS. ALL DRYWALL AND PLASTER CONSTRUCTION REQUIRED TO BE CUT WILL BE REPAIRED. ALL DAMAGED PAINTED SURFACES WILL BE REPAIRED. DAMAGED INTERIOR FINISHES, FIXTURES, EQUIPMENT, AND CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
 11. PORTIONS OF SELECTED ROOFTOP DUCTWORK WILL BE TEMPORARILY DISCONNECTED. REFER TO HVAC PLANS. NOTE: AFTER COMPLETION OF THE WORK, GENERAL REPAIRS TO THE DUCTWORK SHALL BE MADE TO RE-ESTABLISH THE ORIGINAL CONFIGURATION. THE CONTRACTOR WILL EXERCISE MEASURES TO INSURE THAT NO PORTION OF THE BUILDING SHALL BE WITHOUT HEAT OR AIR CONDITIONING AT ANY TIME DURING THE COURSE OF THIS PROJECT. REFER TO MECHANICAL.
 12. RAISE ALL EXISTING ROOFTOP UTILITY SERVICES INCLUDING WATER LINES, TELECOMMUNICATIONS, ELECTRIC AND GAS SERVICE LINES TO PREVENT INTERFERENCE WITH ROOFTOP SURFACE STORM WATER DRAINAGE AND DIRECT CONTACT WITH THE NEW ROOF STRUCTURE. EXTENSIONS TO EXISTING UTILITY SERVICE CONDUITS REQUIRED TO RAISE THESE ITEMS ARE THE CONTRACTOR'S RESPONSIBILITY. NO EXISTING UTILITY SERVICE CONDUITS SHALL BE DISMANTLED AT ANY TIME DURING THE COURSE OF THIS PROJECT.
 13. EXISTING CURB FLASHINGS WILL BE REMOVED. CURB HEIGHTS WILL BE MODIFIED AND/OR CURBS WILL BE REPLACED AS REQUIRED TO PROVIDE MINIMUM 8" CLEARANCE TO NEW ROOF OR AS OTHERWISE INDICATED ON THE DRAWINGS. REFER TO NEW ROOF PLAN AND MECHANICAL PLANS.
 14. REFER TO ROOF PLANS AND DETAILS FOR INTERSECTION OF NEW LOW SLOPE ROOF AND EXISTING ASPHALT SHINGLE ROOF TO REMAIN. (REFERENCE SHEET A-132)
 15. REPAIRING OF THE ASPHALT SHINGLED HIGH PITCH ROOF PORTION OF THE BUILDING IS NOT INCLUDED IN THE SCOPE OF THIS PROJECT EXCEPT FOR MODIFICATIONS AT THE PERIMETER JUNCTURE WITH THE LOW SLOPE ROOFED AREAS.
 16. ALUMINUM CANOPES ARE NOT INCLUDED IN THE SCOPE OF THIS PROJECT. THEY ARE TO BE PROTECTED DURING CONSTRUCTION.
 17. THE CONTRACTOR SHALL TEMPORARILY REMOVE AND THEN REINSTALL ALL ROOF ACCESS LADDERS, STAIRS, AND ACCESS WALKWAYS ASSEMBLIES IN CONJUNCTION WITH THE INSTALLATION OF NEW ROOF. ALL STEEL ROOF ACCESS ASSEMBLIES SHALL BE CLEANED AND PAINTED TO MATCH EXISTING ROOF ACCESS ASSEMBLIES. REFER TO REFERENCE PROJECT MANUAL SPECIFICATIONS SECTION 08 90 00 "PAINTING".
 18. SAW CUT ABANDONED THRU-WALL CONDUITS, PIPES, ETC. FLUSH WITH EXTERIOR WALL SURFACE AND CAP WITH 18 GA. MIN. FLAT METAL PANEL FASTENED TO WALL SURFACE WITH COUNTERSUNK FASTENERS PROTECTING FROM CORROSION. CONFINED REMOVAL WITH ROOFHIT FROM TO DEMOLITION.
 19. NEW CONDENSATE LINE WALL PENETRATION SEAL WATER TIGHT LOCATIONS.



CENTRAL ROOF PLAN

SCALE: 1/16" = 1'-0"

- #### SYMBOL LEGEND
- VENT THRU ROOF TO BE DEMOLISHED. (SEE DEMOLITION NOTE 7 AND DEMOLITION SHEETS)
 - ELEC. / PLUMB. / MECH. PIPE ROOF PENETRATION. DIAMETER VARIES. (CONCRETE DIAMETER IN FIELD AND COORDINATE WITH DETAILS 1A502 AND 10A492)
 - ROOF DRAIN RETROFIT / INSERT (SEE DETAIL 3A502)
 - PITCH POCKET (SEE DETAIL 2A502)
 - EXISTING ELECTRICAL PANEL (SEE ALSO ELECTRICAL SHEETS)
 - ROOFTOP EQUIPMENT
 - KEYNOTE
 - DRAWING REFERENCE FOR DETAIL / SECTION CUT
- NEW ROOF SLOPE DIRECTION (1/8" per foot TAPERED INSULATION)
 - NEW ROOF SLOPE DIRECTION (1/4" per foot TAPERED INSULATION)
 - CONDENSATE LINE
 - GAS LINE
 - WATER LINE
 - EXPANSION JOINT
 - PLASTER OR GYPSUM BOARD
 - EXISTING ACOUSTICAL CEILING TILE
 - NEW ACOUSTICAL CEILING TILE
 - EXISTING LANDSCAPING

NOTE:
 SEE PLUMBING PLAN FOR ALL NEW CONDUIT PENETRATIONS AND BUILDING PENETRATIONS. REFERENCE ARCHITECTURAL REFLECTED CEILING PLAN SHEET A141 FOR ADDITIONAL NOTES. COORDINATE WITH EXISTING CONDITIONS.

PITCH POCKET AT THIS LOCATION FOR HEAT TRACE CONDUIT CONNECTION TO PANEL BELOW. REFER TO ADD ALTERNATE NO. 3 IN SPECIFICATIONS.

DO NOT EXCEED EXISTING FINISHED ROOF ELEVATION HEIGHT WITH NEW INSULATION AT UNIT OR SIDE WALL DUCT ENTRY POINTS.

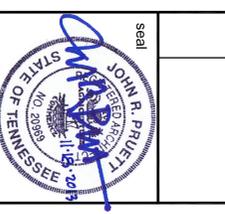
PITCH POCKET AT THIS LOCATION REQUIRED FOR HEAT TRACE CONDUIT CONNECTION TO 3 IN SPECIFICATIONS.

DO NOT EXCEED EXISTING FINISHED ROOF ELEVATION HEIGHT WITH NEW INSTALLATION AT THIS ROOFTOP UNIT OR SIDE WALL DUCT ENTRY POINT.

GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT IN WRITING WITHIN 24 HOURS OF THE DISCOVERY OF ANY DISCREPANCIES.
2. FIELD VERIFY THE LOCATION OF ALL EXISTING BUILDING DOWNSPOUT UNDERGROUND STORM SEWER CONNECTION POINTS PRIOR TO CONSTRUCTION. LOCATION OF STORM DRAIN CONNECTION POINTS SHOWN ON DRAWINGS IS APPROXIMATE. ACTUAL LOCATIONS MUST BE FIELD VERIFIED IN THE CONSTRUCTION STAGING AREAS. THE CONTRACTOR SHALL OBTAIN ALL BUILDING DOWNSPOUT TO STORM SEWER CONNECTIONS.
3. THE EXISTING BUILDING AND PARKING FACILITIES WILL BE OCCUPIED AND CONDUCTING BUSINESS AS USUAL. DURING ALL PHASES OF THE DEMOLITION AND CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY WORKS INCLUDING AND SAFETY BARRIERS REQUIRED TO PROVIDE SAFETY TO THE GENERAL PUBLIC.
4. REMOVE ALL CONSTRUCTION DEBRIS AT THE END OF EACH WORKDAY. COORDINATE THE LOCATION OF MATERIAL STORAGE, DUMPSTERS, CONSTRUCTION VEHICLES, TEMPORARY TOILETS, PARKING, AND OTHER CONSTRUCTION RELATED ACTIVITIES WITH THE ARCHITECT PRIOR TO CONSTRUCTION STAGING.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DISCONNECTIONS AND RE-CONNECTIONS OF ALL UTILITIES AND SERVICES NECESSARY FOR INSTALLATION OF NEW ROOF OR FOR DEMOLITION PURPOSES. BUILDING UTILITIES MAY NOT BE INTERRUPTED AT ANY TIME DURING THIS PROJECT.

revisions	no.	date



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ROOF REPLACEMENT

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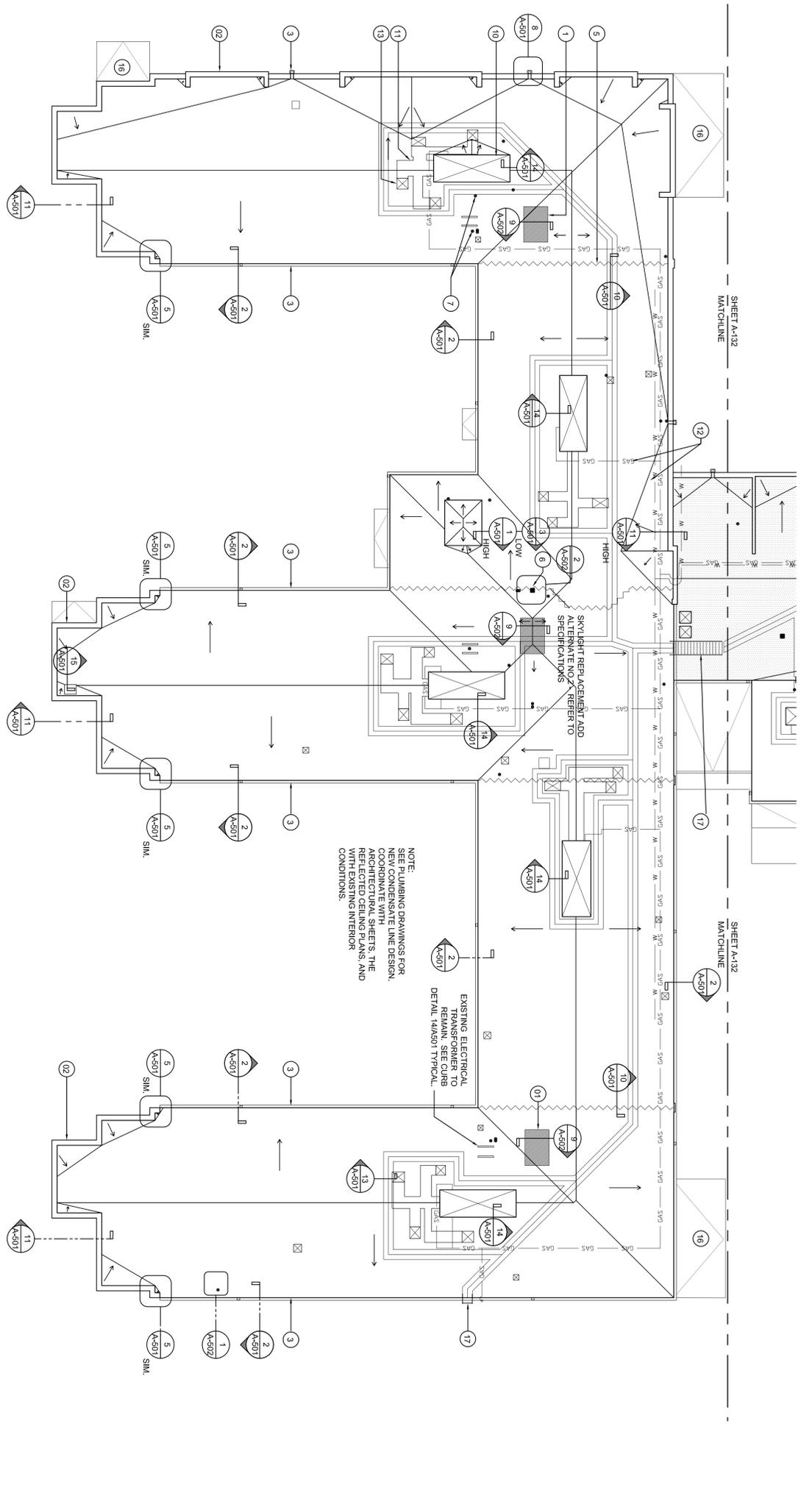
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sheet name
EAST ROOF PLAN
 date
11.18.2013

A-133

ROOF PLAN KEY NOTES

- NOTE TO CONTRACTOR:**
 THE KEY NOTES ARE INTENDED TO BE TYPICAL IN NATURE AND APPLICABLE TO ALL SIMILAR CONDITION LOCATIONS IN ADDITION TO THE LOCATIONS SHOWN ON THIS SHEET. ANY UNUSUAL CONDITIONS OTHERWISE INDICATED AS AN ISOLATED SITUATION CONDITION.
1. INFILL EXISTING ROOF DECK OPENINGS WHERE SKYLIGHTS WERE REMOVED. REFER TO PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
 2. INSTALL NEW PRESSURE TREATED WOOD BLOCKING OVER EXISTING CONCRETE WALL CORNERS. INSTALL NEW SINGLE MEMBRANE ROOFING SYSTEM TO COVER INTERIOR FACE OF PARAPET WALL. EXTEND MEMBRANE OVER TOP OF NEW BLOCKING AND SECURE WITH SHEET METAL EDGE TERMINATION STRIP ON THE EXTERIOR SIDE OF PARAPET. REFERENCE DETAIL 11A501.
 3. INSTALL MANUFACTURED ALUMINUM ROOF EDGE GUTTERS, FLASHINGS, AND DOWNSPOUTS TO DISCHARGE DIRECTLY ONTO GRADE LEVEL. CONCRETE SPLASH BLOCKS. REPLACE ALL SCRAPPER COLLECTION BOXES WITH MANUFACTURED ALUMINUM SCRAPPER COLLECTION BOXES. NEW BUILDING DOWNSPOUTS AND SCRAPPER COLLECTION BOXES SHALL BE INSTALLED AT THE EXTERIOR FACE OF EXISTING CONCRETE SPLASH BLOCKS WHERE AVAILABLE AND SUPPLY NEW SPLASH BLOCKS WHERE NONE CURRENTLY EXISTS.
 4. NOT USED.
 5. NEW ROOFTOP EXPANSION JOINT. REFER TO DETAILS AND SPECIFICATIONS.
 6. NEW ROOF PENETRATION PITCH POCKET - TYPICAL AT ALL REMANDED PENETRATION LOCATIONS. SEE DETAIL 2A502. (Also refer to sheet E1)
 7. EXIST ALL EXISTING VTRS TO REMAIN TO A MINIMUM OF 8" ABOVE NEW FINISHED ROOF PLANE AND INSTALL NEW FLASHINGS.
 8. RAISE EXISTING PTAC UNIT TO UNDERSIDE OF CONCRETE WINDOW SILL. THIS IS TO BE DONE IN ORDER TO MAINTAIN THE CLEARANCE OF THE EXISTING PTAC UNIT. EXTENSION OF PLUMBING LINES TO THE PTAC UNIT, AND REPAIRS TO BRICK MASONRY, REPAIRS TO INTERIOR PLASTER WALL AND INTERIOR FINISHES INCLUDING FLOOR AND WALL FINISHES. ALL ALTERED OR AFFECTED SURFACES AND MATERIALS WILL BE REMOVED UPON COMPLETION OF THE WORK BY THE CONTRACTOR. REFER TO CONSTRUCTION CONDITIONS, OR REPLACED. (REFERENCE SHEET A-132).
 9. CLOSE ALL WINDOW OPENINGS IN CENTRAL SECTION BASED WALL FLUSH WITH MASONRY (EXTERIOR) SIDE OF WALL OPENING. INFILL CONSTRUCTION TO CONSIST OF 18 GA. 24 METAL STUDS AT 16" O.C. MIN. WITH 1/2" GYPSUM BOARD OVER STUDS. FINISH INTERIOR WITH 1/2" FAGED GYPSUM SHEATHING BOARD. TAPE ALL JOINTS AND SEAL PERIMETER EDGES WITH SILICONE SEALANT. FINISH INTERIOR SIDE WITH 1/2" GYPSUM BOARD. TAPE ALL JOINTS AND SEAL PERIMETER EDGES WITH LATEX SEALANT. PAINT INTERIOR SIDE OF NEW CONSTRUCTION WITH (1) COAT OF PRIMER AND (2) COATS OF FINISH PAINT. COLOR AS SELECTED BY ARCHITECT. FILL STUD CAVITY OF NEW CONSTRUCTION WITH R13 BATT INSULATION. (REFERENCE SHEET A-132)
 10. INSTALL NEW CONDENSATE LINES FOR EACH ROOF TOP HVAC UNIT BY CORE DRILLING NEW EXIT HOLE FOR CONDENSATE LINE THRU ROOF DECK AT LOCATIONS SHOWN ON PLUMBING PLANS AND RUNNING LINE AS SHOWN IN SECTION. CONDENSATE LINE SHALL BE INSTALLED TO THE EXTERIOR THROUGH ROOF DECK. REFER TO THE ABOVE PLUMBING DRAWINGS FOR ALL TIE-IN LOCATIONS AND PRE ROUTING. THE IN BELOW CEILING ONLY WHERE SPECIFICALLY INDICATED ON PLUMBING PLANS. NOTE: PLUMBING MODIFICATIONS WILL TAKE PLACE BOTH ABOVE AND BELOW THE ROOF DECK. INTERIOR MODIFICATIONS WILL BE EXECUTED IN A MANNER THAT IS THE LEAST DISRUPTIVE TO THE EXISTING INTERIOR FINISHES. ALL MODIFICATIONS TO ALL SUSPENDED CEILING THAT ARE REQUIRED TO BE DISMANTLED WILL BE REASSEMBLED TO THE SAME CONDITION AND CONFIGURATIONS THAT CURRENTLY EXIST. REFER TO REFLECTED CEILING PLANS. ALL DRYWALL AND PLASTER CONSTRUCTION REQUIRED TO BE CUT WILL BE REPAIRED. ALL DAMAGED PAINTED SURFACES WILL BE REPAIRED. REFER TO PLUMBING PLANS FOR ALL TIE-IN LOCATIONS AND PRE-PLACE ANY DAMAGED INTERIOR FINISHES, FIXTURES, EQUIPMENT, AND CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
 11. PORTIONS OF SELECTED ROOFTOP DUCTWORK WILL BE TEMPORARILY DISCONNECTED. REFER TO HVAC PLANS. NOTE: AFTER COMPLETION OF THE WORK, THE CONTRACTOR SHALL RECONNECT THE DUCTWORK TO THE EXISTING SYSTEM. THE CONTRACTOR WILL EXERCISE MEASURES TO INSURE THAT NO PORTION OF THE BUILDING SHALL BE WITHOUT HEAT OR AIR CONDITIONING AT ANY TIME DURING THE COURSE OF THIS PROJECT. REFER TO MECHANICAL.
 12. RAISE ALL EXISTING ROOFTOP UTILITY SERVICES INCLUDING WATER LINES, TELECOMMUNICATIONS, ELECTRIC AND GAS SERVICE LINES TO PREVENT INTERFERENCE WITH ROOFTOP SURFACE STORM WATER DRAINAGE AND DIRECT CONTACT WITH THE NEW ROOF STRUCTURE. EXTENSIONS TO EXISTING UTILITY SERVICE CONDUITS REQUIRED TO RAISE THESE ITEMS ARE THE CONTRACTOR'S RESPONSIBILITY. NO EXTENSIONS TO EXISTING UTILITY SERVICE CONDUITS SHALL BE MADE AT ANY TIME DURING THE COURSE OF THIS PROJECT.
 13. EXISTING CURB FLASHINGS WILL BE REMOVED. CURB HEIGHTS WILL BE MODIFIED AND/OR CURBS WILL BE REPLACED AS REQUIRED TO PROVIDE MINIMUM 8" CLEARANCE TO NEW ROOF OR AS OTHERWISE INDICATED ON THE DRAWINGS. REFER TO NEW ROOF PLAN AND MECHANICAL PLANS.
 14. REFER TO ROOF PLANS AND DETAILS FOR INTERSECTION OF NEW LOW SLOPE ROOF AND EXISTING ASPHALT SHINGLE ROOF TO REMAIN. (REFERENCE SHEET A-132)
 15. REOPENING OF THE ASPHALT SHINGLED HIGH PITCH ROOF PORTION OF THE BUILDING IS NOT INCLUDED IN THE SCOPE OF THIS PROJECT EXCEPT FOR MODIFICATIONS AT THE PERIMETER JUNCTURE WITH THE LOW SLOPE ROOFED AREAS.
 16. ALUMINUM CANOPIES ARE NOT INCLUDED IN THE SCOPE OF THIS PROJECT. THEY ARE TO BE PROTECTED DURING CONSTRUCTION.
 17. THE CONTRACTOR SHALL TEMPORARILY REMOVE AND THEN REINSTALL ALL ROOF ACCESS LADDERS, STAIRS, AND ACCESS WALKWAYS ASSEMBLIES IN CONJUNCTION WITH THE INSTALLATION OF NEW ROOF. ALL STEEL ROOF ACCESS ASSEMBLIES SHALL BE CLEANED AND PAINTED TO MATCH EXISTING ROOF ACCESS ASSEMBLIES. REFER TO REFERENCE PROJECT MANUAL SPECIFICATIONS SECTION 09 90 00 "PAINTING".
 18. SAW CUT ABANDONED THRU-WALL CONDUITS, PIPES, ETC. FLUSH WITH EXTERIOR WALL SURFACE AND CAP WITH 18 GA. MIN. FLAT METAL PLATE. THE PLATE SHALL BE FASTENED TO WALL SURFACE WITH COUNTERSUNK FASTENERS NECESSARY FOR INSTALLATION OF NEW ROOF OR FOR DEMOLITION PURPOSES. BUILDING UTILITIES MAY NOT BE INTERRUPTED AT ANY TIME DURING THIS PROJECT.
 19. NEW CONDENSATE LINE WALL PENETRATION SEAL WATER TIGHT AROUND PIPE AND OPENING IN WALL. SEE MECHANICAL FOR LOCATIONS.



EAST ROOF PLAN
 SCALE: 1/16" = 1'-0"
 N

- ### SYMBOL LEGEND
- VENT THRU ROOF TO BE DEMOLISHED (SEE DEMOLITION NOTE / AND DEMOLITION SHEETS)
 - ELEC. / PLUMB. / MECH. PIPE PENETRATION, DIAMETER YAKES (CONCRETE DIAMETER IN FIELD AND COORDINATE WITH DETAILS 1A502 AND 10A502)
 - ROOF DRAIN RETROFIT / INSERT (SEE DETAIL 2A502)
 - PITCH POCKET (SEE DETAIL 2A502)
 - EXISTING ELECTRICAL PANEL (SEE ALSO ELECTRICAL SHEETS)
 - ROOFTOP EQUIPMENT
 - KEYNOTE
 - DRAWING REFERENCE FOR DETAIL / SECTION CUT
- NEW ROOF SLOPE DIRECTION (1/8" per foot TAPERED INSULATION)
 - NEW ROOF SLOPE DIRECTION (1/4" per foot TAPERED INSULATION)
 - CONDENSATE LINE
 - GAS LINE
 - WATER LINE
 - EXPANSION JOINT
 - PLASTER OR GYPSOBOARD
 - EXISTING ACOUSTICAL CEILING TILE
 - NEW ACOUSTICAL CEILING TILE
 - EXISTING LANDSCAPING

GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT IN WRITING WITHIN 24 HOURS OF THE DISCOVERY OF ANY DISCREPANCIES.
2. FIELD VERIFY THE LOCATION OF ALL EXISTING BUILDING DOWNSPOUT UNDERGROUND STORM SEWER CONNECTION POINTS PRIOR TO CONSTRUCTION. LOCATION OF STORM DRAIN CONNECTION POINTS SHOWN ON DRAWINGS IS APPROXIMATE. ACTUAL LOCATIONS MUST BE FIELD VERIFIED IN THE CONTRACTOR'S RESPONSIBILITY. CONNECTIONS TO EXISTING STORM SEWER CONNECTIONS MUST BE MADE IN A MANNER THAT PROVIDES A POSITIVE CONNECTION AND OPEN ALL BUILDING DOWNSPOUT TO THE GENERAL PUBLIC.
3. THE EXISTING BUILDING AND PARKING FACILITIES WILL BE OCCUPIED AND CONDUCTING BUSINESS AS USUAL. DURING ALL PHASES OF THE DEMOLITION AND CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY WORKS INCLUDING AND SAFETY BARRIERS TO PROTECT THE BUILDING AND PARKING AREAS FROM THE CONSTRUCTION ACTIVITIES.
4. REMOVE ALL CONSTRUCTION DEBRIS AT THE END OF EACH WORKDAY. COORDINATE THE LOCATION OF MATERIAL STORAGE, DUMPSTERS, CONSTRUCTION VEHICLES, TEMPORARY TOILETS, PARKING, AND OTHER CONSTRUCTION RELATED ACTIVITIES WITH THE ARCHITECT PRIOR TO CONSTRUCTION STAGING.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DISCONNECTIONS AND RE-CONNECTIONS OF ALL UTILITIES AND SERVICES NECESSARY FOR INSTALLATION OF NEW ROOF OR FOR DEMOLITION PURPOSES. BUILDING UTILITIES MAY NOT BE INTERRUPTED AT ANY TIME DURING THIS PROJECT.

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ROOF REPLACEMENT Peggy Edmiston Administration Building

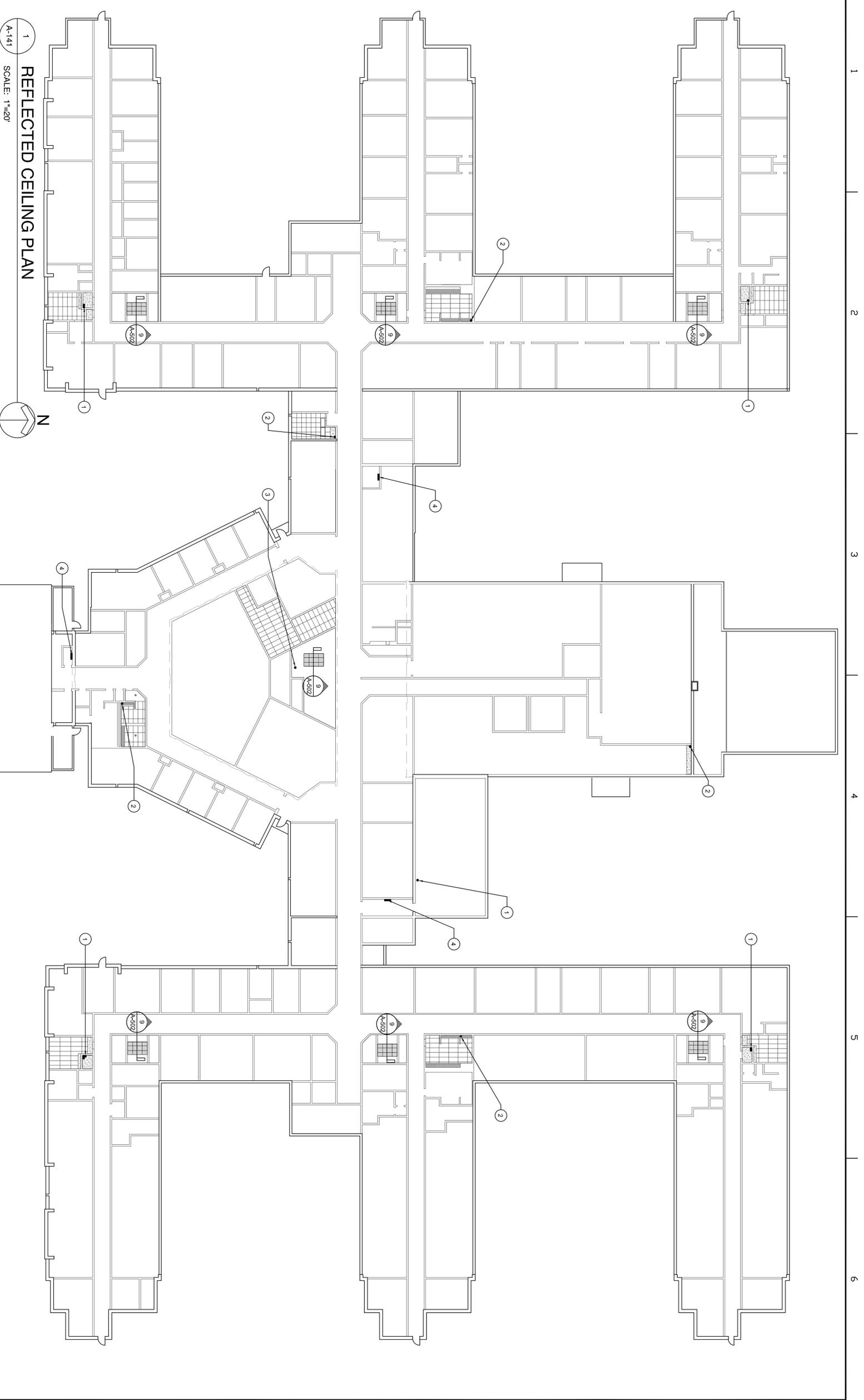
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CEILING PLAN

date
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SYMBOL LEGEND

- ✕ VENT THRU ROOF TO BE DEMOLISHED. (SEE DEMOLITION NOTE 7 AND DEMOLITION SHEETS.)
- ELEC. / PLUMB. / MECH. PIPE ROOF PENETRATION. DIAMETER VARIES. (CONFIRM DIAMETER IN FIELD AND COORDINATE WITH DETAILS 1A502 AND 10A502)
- + ROOF DRAIN RETROFIT / INSERT (SEE DETAIL 3A502)
- PITCH POCKET (SEE DETAIL 2A502)
- ▣ EXISTING ELECTRICAL PANEL (SEE ALSO ELECTRICAL SHEETS)
- ⊠ ROOFTOP EQUIPMENT
- KEYNOTE
- ⊞ DRAWING REFERENCE FOR DETAIL SECTION CUT (SEE DETAIL 2A502)
- NEW ROOF SLOPE DIRECTION (1/8" PER FOOT TAPERED INSULATION)
- NEW ROOF SLOPE DIRECTION (1/4" PER FOOT TAPERED INSULATION)
- CONDENSATE LINE
- GAS LINE
- WATER LINE
- EXPANSION JOINT
- ▨ PLASTER OR GYPSUM BOARD
- ▨ EXISTING ACOUSTICAL CEILING TILE
- ▨ NEW ACOUSTICAL CEILING TILE
- EXISTING LANDSCAPING

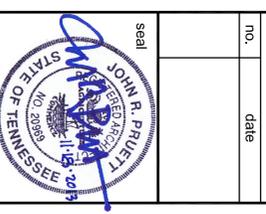
REFLECTED CEILING PLAN KEY NOTES

1. CONTRACTOR TO LOCATE NEW THRU-ROOF PENETRATIONS(S) TO ACCOMMODATE NEW REROUTED CONDENSATE LINE PLUMBING DESIGN. SO THAT THE PIPE DROPS VERTICALLY INTO THE CORNER OF ROOF SINK. REFER TO PLUMBING AND MECHANICAL SHEETS BELOW THE FIXTURE. REFER TO PLUMBING AND MECHANICAL SHEETS CONTRACTOR SHALL CUT THROUGH EXISTING CONSTRUCTION AND OPENING WITH MINIMUM DIMENSIONS NECESSARY FOR THE WORK. CONTRACTOR SHALL REPAIR ALL EXISTING CONSTRUCTION THAT IS DISTURBED BY DEMOLITION AND NEW CONSTRUCTION. ALL EXPOSED LENGTH OF PIPE WILL BE PAINTED COLOR CHOSEN BY ARCHITECT.
2. WHERE NEW CONDENSATE LINE ENTERS INTO A FINISHED SPACE, CONTRACTOR IS TO LOCATE NEW THRU ROOF PENETRATIONS(S) TO ACCOMMODATE NEW REROUTED CONDENSATE LINE PLUMBING DESIGN. SO THAT THE PIPE DROPS VERTICALLY INTO THE CORNER OF ROOF SINK. REFER TO PLUMBING AND MECHANICAL SHEETS BELOW THE FIXTURE. REFER TO PLUMBING AND MECHANICAL SHEETS CONTRACTOR SHALL CUT THROUGH EXISTING CONSTRUCTION AND OPENING WITH MINIMUM DIMENSIONS NECESSARY FOR THE WORK. CONTRACTOR SHALL REPAIR ALL EXISTING CONSTRUCTION THAT IS DISTURBED BY DEMOLITION AND NEW CONSTRUCTION. ALL EXPOSED LENGTH OF PIPE WILL BE PAINTED COLOR CHOSEN BY ARCHITECT.
3. EXTEND NEW CONDENSATE LINES FROM RTU-7 AND RTU-10 THRU THE WALL ABOVE THE ROOF. COBE DRILL CONDENSATE LINE ACCESS PORTAL. GROUT BEYOND GALVANIZED STEEL SLEEVE. CONDENSATE LINE COORDINATE WITH MECHANICAL SHEETS. CONDENSATE LINE ROUTING THROUGH SLEEVE, GROUT VOIDS IN EXTERIOR END OF SLEEVE AROUND CONDUIT WEATHERTIGHT. TEMPORARILY REMOVE CEILING TILES (AND SUSPENSION SYSTEMS IF REQUIRED) FOR THE INSTALLATION AND REINSTALL. DRAIN WILL EMPTY DIRECTLY INTO FLOOR WOP SINK OF HENS FALL. REFER TO PLUMBING SHEET.
4. CONTRACTOR TO LOCATE NEW THRU-ROOF PENETRATIONS(S) TO ACCOMMODATE NEW ELECTRICAL SERVICE SO THAT THE PIPE DROPS VERTICALLY INTO THE SPACE TO THE HENLEY. RTO THE EXISTING PANEL THROUGH EXISTING CONSTRUCTION AND OPENING WITH MINIMUM DIMENSIONS NECESSARY FOR THE WORK. CONTRACTOR SHALL REPAIR ALL EXISTING CONSTRUCTION THAT IS DISTURBED BY DEMOLITION AND NEW CONSTRUCTION TO MATCH EXISTING ADJACENT CONSTRUCTION TO REMAIN. ALL EXPOSED LENGTH OF PIPE WILL BE PAINTED COLOR CHOSEN BY ARCHITECT. SEE ADDITIVE ALTERNATE #3.

GENERAL NOTE:

CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL INDICATED FIXTURES AND EQUIPMENT THROUGH THE ROOF. CONTRACTOR SHALL NOTIFY ARCHITECT UPON DISCOVERY OF ANY DISCREPANCY.

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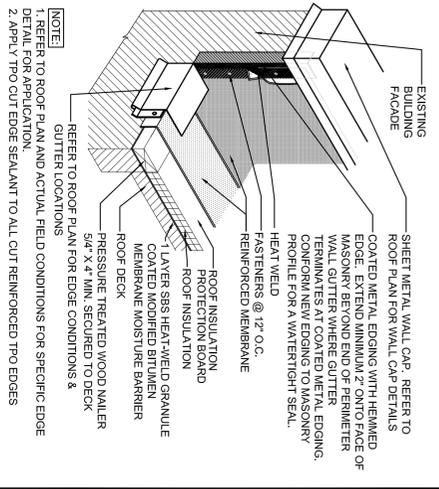
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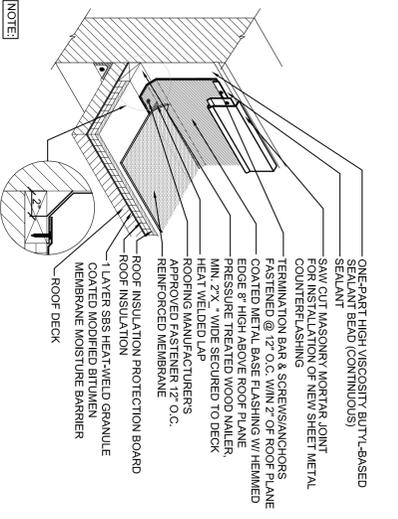
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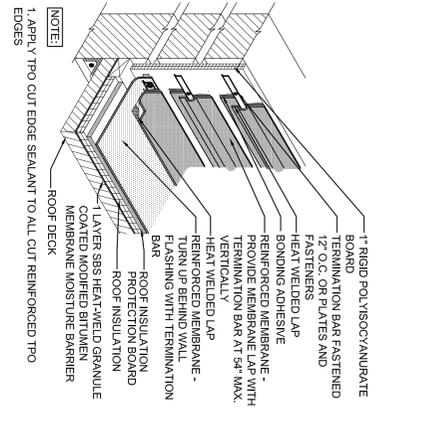
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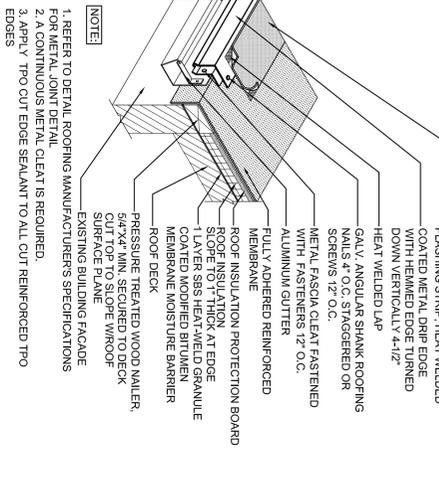
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TYP. PARAPET END WALL VERTICAL
MEMBRANE WALL FLASHING DETAIL
200-300 314
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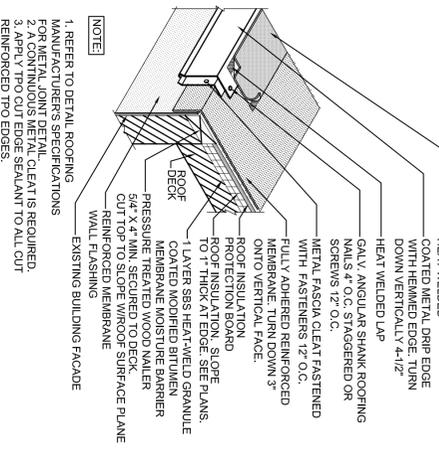
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DETAIL AT COATED METAL
WALL FLASHING
200-300 308
NTS



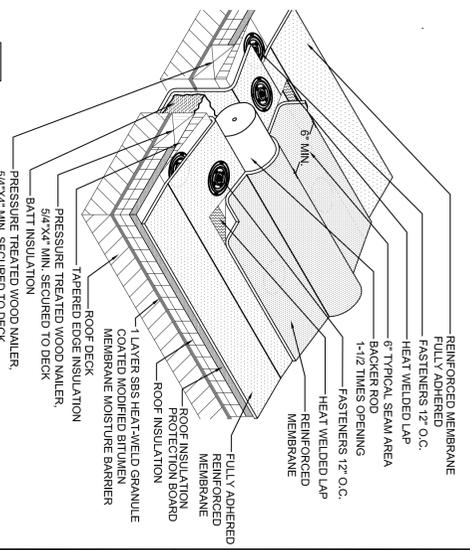
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DETAIL AT
HIGH WALL FLASHING
200-300 306
NTS



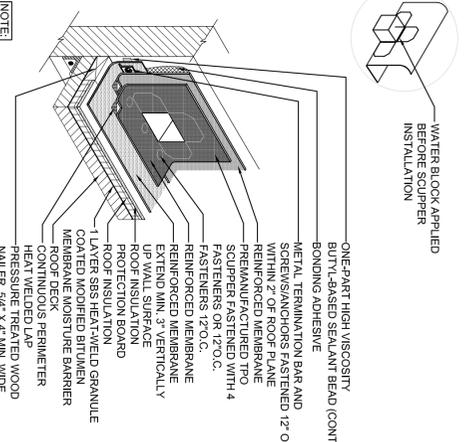
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DETAIL AT GUTTER WITH
COATED METAL EDGE
200-300 211
NTS



1
DETAIL AT DRIP EDGE WITH
COATED METAL EDGE
200-300 211A
NTS



10
TYPICAL ROOF
EXPANSION JOINT DETAIL
200-300 314
NTS



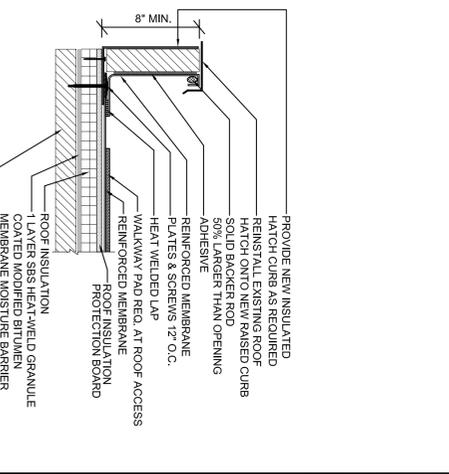
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DETAIL AT SCUPPER
200-300 324
NTS



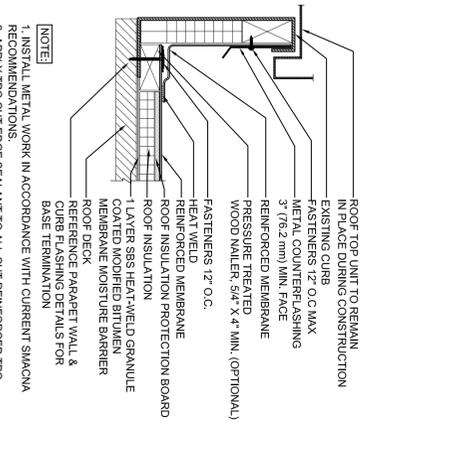
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NOT USED
200-300 211
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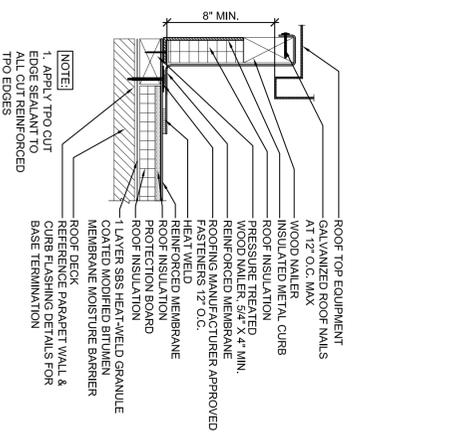
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NOT USED
200-300 211A
NTS



15
DETAIL
AT ROOF HATCH
400-600 505
NTS



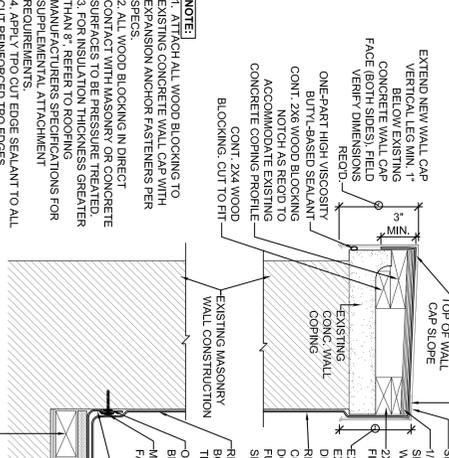
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DETAIL - TERMINATION AT ROOF TOP
EQUIPMENT TO REMAIN IN PLACE
WITH COUNTERFLASHING
200-300 308
NTS



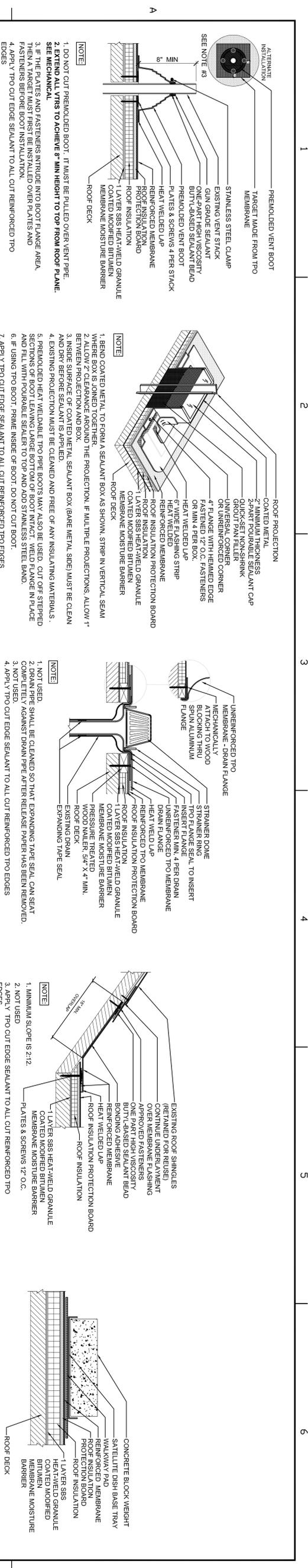
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DETAIL - TERMINATION AT ROOF TOP
EQUIPMENT CURB REPLACEMENT
WITH WELDED LAP
200-300 306
NTS



12
NOT
USED
200-300 211
NTS



11
DETAIL AT NEW WALL CAP CONSTRUCTION
WITH TYPICAL PARAPET WALL BASE TERMINATION
400-600 501
NTS

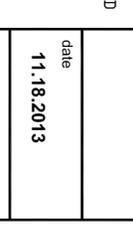
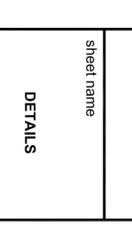
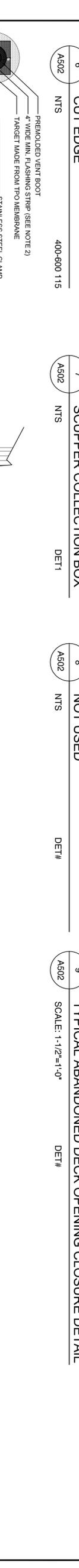


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