

# ROOF REPLACEMENT

## Juvenile Court Building

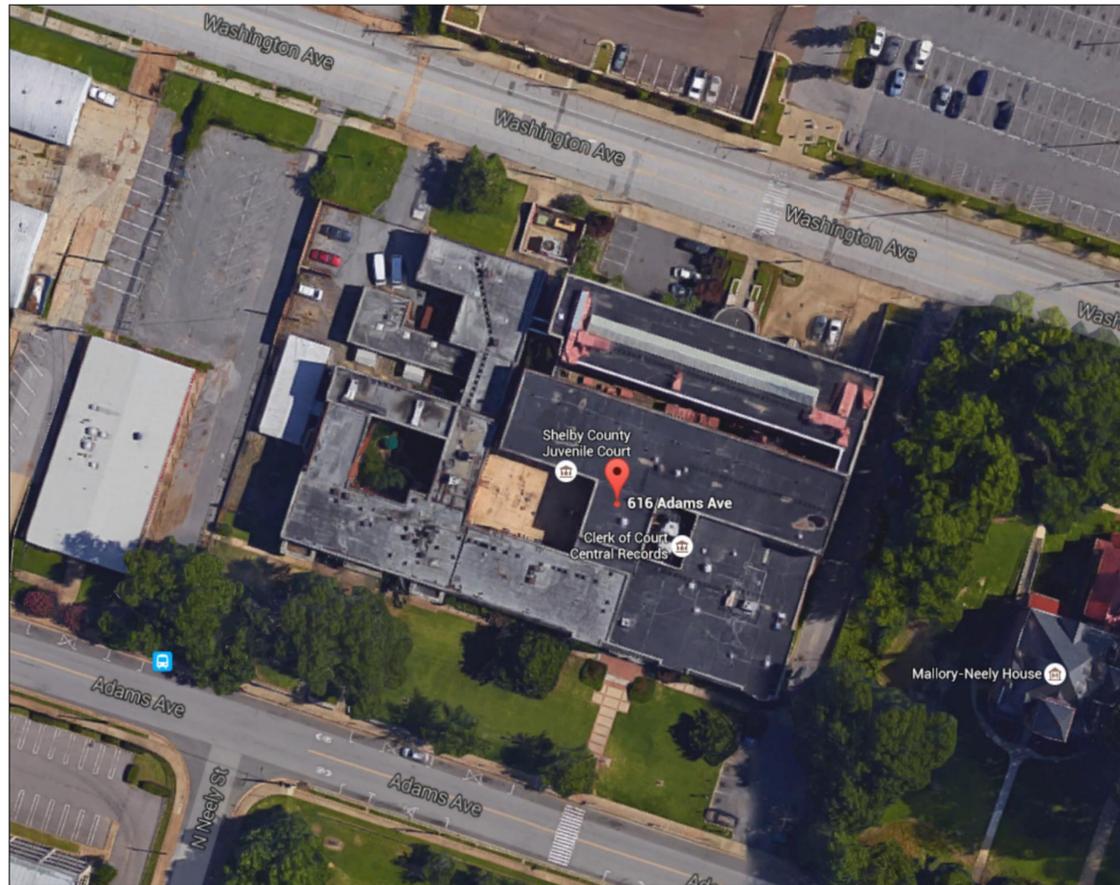
616 Adams Avenue, Memphis, Tennessee 38105  
Shelby County Government RFP # 17-008-08

**Architect: John Pruett Architects**

1869 Madison Avenue, Memphis, Tennessee 38104 email: pruettextarchitects@bellsouth.net, phone: 901-721-9062

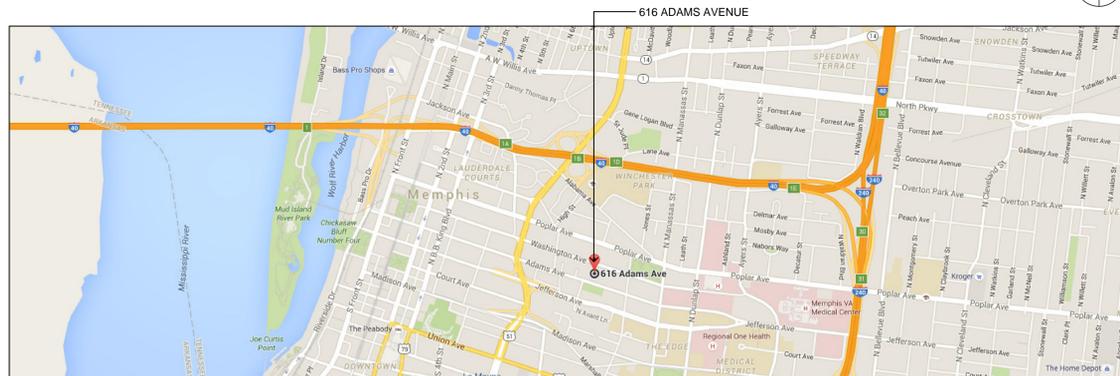
**Mechanical Engineer: Gala Engineering, Inc.**

7975 Stage Hills Blvd., Suite 5, Memphis, TN 38133 phone: 901-384-8400



AERIAL VIEW

NOT TO SCALE



LOCATION MAP

NOT TO SCALE

### INDEX OF DRAWINGS

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### SYMBOL LEGEND

●	ELEC. / PLUMB. / MECH. PIPE ROOF PENETRATION. DIAMETER VARIES. (CONFIRM DIAMETER IN FIELD AND COORDINATE WITH DETAILS 8/A3 AND 9/A3)
⊕	EXISTING ROOF DRAIN RETROFIT / INSERT (SEE DETAIL 1/A4, REFER TO MECHANICAL/PLUMBING)
■	PITCH POCKET (SEE DETAIL 10/A3)
⊠	EXISTING ELECTRICAL PANEL (SEE ALSO ELECTRICAL SHEETS)
⊞	ROOFTOP EQUIPMENT
⊞	THROUGH-WALL SCUPPER
⊞	THROUGH-WALL SCUPPER WITH COLLECTOR BOX (Type 1)
⊞	THROUGH-WALL SCUPPER WITH COLLECTOR BOX (Type 2)
⊞	ABANDONED ROOF DECK OPENING INFILL WITH SUPPLEMENTARY STRUCTURE WHERE REQUIRED. SEE DETAILS.
~~~~~	EXPANSION JOINT
----	CONDENSATE LINE
(Not Shown)	GAS LINE
(Not Shown)	WATER LINE
↑	NEW ROOF SLOPE DIRECTION (1/8" OR 1/4" per foot TAPERED OR FLAT INSULATION INDICATED)
⊘	KEYNOTE
⊞	DRAWING REFERENCE FOR DETAIL (A-501)

### GENERAL ROOF NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT IN WRITING WITHIN 24 HOURS OF THE DISCOVERY OF ANY DISCREPANCIES.
- FIELD VERIFY THE LOCATION OF ALL EXISTING BUILDING DOWNSPOUT UNDERGROUND STORM SEWER CONNECTION POINTS PRIOR TO CONSTRUCTION. LOCATION OF DOWNSPOUT AND STORM DRAIN CONNECTION POINTS SHOWN ON DRAWINGS IS APPROXIMATE. ACTUAL LOCATIONS MUST BE FIELD VERIFIED. CLEAN OUT ALL ROOF DRAINS, INTERNAL ROOF DRAIN PIPING, SCUPPERS, AND DOWNSPOUTS AND TEST FOR PROPER DRAINAGE FUNCTIONING. IMPROPER FUNCTIONING OR NON-WATER TIGHT SYSTEMS SHALL BE REPAIRED OR REPLACED.
- THE EXISTING BUILDING AND PARKING FACILITIES WILL BE OCCUPIED AND CONDUCTING "BUSINESS AS USUAL" DURING ALL PHASES OF THE DEMOLITION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY WORKS, INCLUDING AND SAFETY BARRIERS REQUIRED TO PROVIDE SAFETY TO THE GENERAL PUBLIC.
- REMOVE ALL CONSTRUCTION DEBRIS AT THE END OF EACH WORKDAY. COORDINATE THE LOCATION OF MATERIAL STORAGE, DUMPSTERS, CONSTRUCTION VEHICLES, TEMPORARY TOILETS, PARKING, AND OTHER CONSTRUCTION RELATED ACTIVITIES WITH THE ARCHITECT PRIOR TO CONSTRUCTION STAGING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DISCONNECTIONS AND RE-CONNECTIONS OF ALL UTILITIES, SECURITY LIGHTING, LIGHTNING PROTECTION, AND SERVICES NECESSARY FOR INSTALLATION OF NEW ROOF OR FOR DEMOLITION PURPOSES. BUILDING UTILITIES MAY NOT BE INTERRUPTED AT ANY TIME DURING THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL AND DISPOSAL OF THE EXISTING ROOFING SYSTEM INCLUDING ALL UNDERLAYMENTS, INSULATIONS, ADHESIVES, MECHANICAL FASTENERS, FLASHINGS, PITCH POCKETS, AND EQUIPMENT AS DESIGNATED BY THE CONTRACT DOCUMENTS.
- A HAZARDOUS MATERIALS ABATEMENT REPORT PREPARED BY TIOGA ENVIRONMENTAL CONSULTANTS AND DATED JUNE 2016 IS INCLUDED IN THE PROJECT MANUAL AND THE CONTRACTOR WILL FOLLOW ALL INSTRUCTIONS FOR THE SAFE REMOVAL OF ANY HAZARDOUS MATERIAL CONTAINING PRODUCTS AND CONSTRUCTION AS IF INCLUDED HEREIN.
- MODIFY ALL EQUIPMENT CURB AND ROOF PENETRATION PIPES AND FLUE HEIGHTS AS NECESSARY TO COORDINATE WITH NEW FINISHED ROOF SYSTEM ELEVATIONS AND/OR CONFIGURATIONS. COORDINATE NEW INSULATION THICKNESSES WITH EXISTING EQUIPMENT CURBS WHOSE HEIGHT CANNOT BE MODIFIED.
- THE CONTRACTOR WILL INSTALL A COMPLETE NEW THREE PLY WHITE MINERAL SURFACED SBS MODIFIED BITUMEN MEMBRANE SYSTEM, INCLUDING FLASHINGS AND ROOFING ACCESSORIES OVER HIGH THERMAL ROOF INSULATION ATTACHED TO A CONCRETE ROOF DECK.
- REPLACE ALL ROOFTOP EXPANSION JOINTS.
- SURFACE ROOF DRAINAGE DESIGN WILL BE AS INDICATED BY THE CONTRACT DOCUMENTS. TAPERED AND/OR FLAT ROOF INSULATION DESIGN WITH SHOP DRAWINGS FOR ARCHITECT APPROVAL WILL BE PROVIDED BY THE CONTRACTOR.
- IN CONJUNCTION WITH THE REROOFING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MISCELLANEOUS REPAIRS AND MODIFICATIONS ASSOCIATED WITH THE SCOPE OF THE WORK AS DIRECTED BY THE CONTRACT DOCUMENTS.
- THE CONTRACTOR WILL INSTALL NEW ROOFTOP HVAC EQUIPMENT CONDENSATE DISCHARGE PLUMBING SYSTEMS AS INDICATED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL INSTALL A COMPLETE NEW COLD APPLIED, SBS MODIFIED BITUMEN ROOF SYSTEM WITH TWENTY (20) YEAR WARRANTY OVER NEW ROOFTOP INSULATION. CONTRACTOR SHALL INSTALL AN SBS MODIFIED BITUMEN ROOF MOISTURE BARRIER OVER EXPOSED CONCRETE ROOF DECK AS THE DEMOLITION WORK PROGRESSES. COORDINATE ALL DEMOLITION WORK WITH THE HAZARDOUS MATERIALS ABATEMENT SUBCONTRACTOR.
- EXISTING ELECTRICAL CONDUITS, COMMUNICATIONS, LIGHTING PROTECTION, AND LOW VOLTAGE CABLES ARE NOT SHOWN ON THE PLANS FOR CLARITY PURPOSES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL ROOFTOP UTILITY AND COMMUNICATION SERVICE INFRASTRUCTURE WHETHER INDICATED ON THE PLANS OR NOT. FURTHERMORE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE INSTALLATION OF THE NEW ROOFING SYSTEM WITH THE EXISTING ROOFTOP UTILITY SERVICES INFRASTRUCTURE TO REMAIN WHILE MAINTAINING FULL UTILITY & COMMUNICATIONS SERVICES AT ALL TIMES DURING CONSTRUCTION.

revisions

no.	date

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**john pruettt**  
ARCHITECTS  
1869 Madison Ave.  
Memphis, TN 38104  
(901) 721-9062  
pruettextarchitects@bellsouth.net  
www.pruettarchitects.com

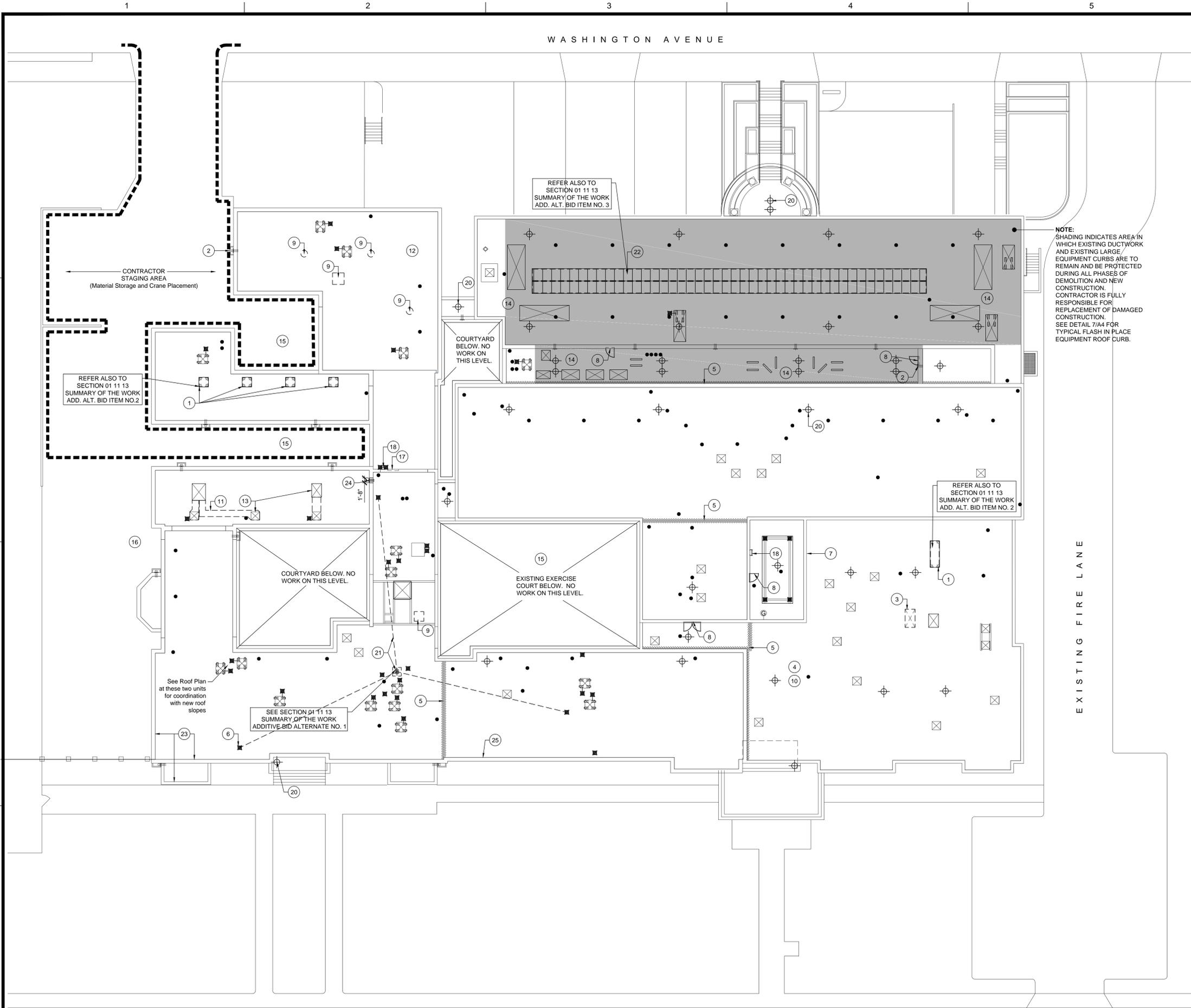
**Shelby County Government**  
**Juvenile Court Roof Replacement**  
**616 Adams Avenue, Memphis, TN**

**BID DOCUMENT SET**

sheet name  
**Location Map, Aerial View, Index of Drawings, Symbol Legend**

date  
**AUGUST 29, 2016**

**A0**



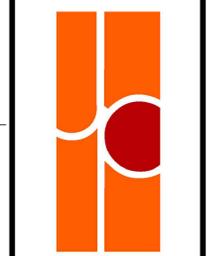
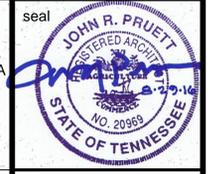
**SYMBOL LEGEND**  
REFER TO SHEET A0 FOR SYMBOL LEGEND

**DEMOLITION KEY NOTES**

**NOTE TO CONTRACTOR:**  
THE KEY NOTES ARE INTENDED TO BE TYPICAL IN NATURE AND APPLICABLE TO ALL SIMILAR CONDITION LOCATIONS IN ADDITION TO THOSE SPECIFICALLY REFERENCED ON THE DRAWINGS, UNLESS OTHERWISE INDICATED AS AN ISOLATED SITUATION CONDITION.

1. REMOVE EXISTING UNIT SKYLIGHTS. SEE SPEC SECTION 01 11 13 SUMMARY OF THE WORK FOR ADDITIVE ALTERNATE BID ITEM NO. 2 FOR MORE INFORMATION.
2. EXISTING HISTORIC COPPER SCUPPER BOXES AND THRU WALL FLASHING TO REMAIN. PROTECT. REMOVE ALL EXISTING ROOFING MATERIAL AND PREPARE FOR NEW ROOF INSTALLATION.
3. REMOVE EXISTING ABANDONED MECHANICAL UNIT AND CURB. INFILL EXISTING ROOF DECK OPENING. REFER TO DETAIL 4/A4. PROTECT ALL EXISTING ADJACENT CONSTRUCTION (INTERIOR AND EXTERIOR) TO REMAIN. CONFIRM REMOVAL WITH ARCHITECT PRIOR TO DEMOLITION.
4. REMOVE FLASHING FROM ALL VTRs TO REMAIN. AT LOCATIONS INDICATED ON THE DRAWINGS WHERE VTRs ARE ABANDONED, VTRs SHALL BE SAW CUT AND PERMANENTLY CAPPED FLUSH WITH THE TOP SIDE OF THE ROOF DECK WITH 18 GA. MIN. STEEL PLATE AND MECHANICAL FASTENERS.
5. REMOVE ALL ROOFTOP EXPANSION JOINTS.
6. REMOVE ALL EXISTING PITCH POCKETS.
7. VERTICAL MASONRY ABOVE THE ROOF WILL BE REPOINTED IN THIS AREA. SEE SPEC SECTION 01 21 00 ALLOWANCES FOR MORE INFORMATION.
8. EXISTING ROOF ACCESS DOOR.
9. REMOVE EXISTING HATCHES AS IDENTIFIED ON THE DRAWING. ABANDONED ROOF OPENING TO RECEIVE INFILL CONSTRUCTION. SEE DETAIL 4/A4.
10. REMOVE ALL ROOFTOP HVAC UNIT CONDENSATE LINES. SEE ROOF PLAN AND MP-1 FOR NEW CONDENSATE LINE ROUTING.
11. REMOVE EXISTING ROOFTOP DUCTWORK AT (2) UNIT LOCATIONS INDICATED ON THE PLANS. (NOTE: AFTER REROOFING OF THE AREA BENEATH THE DUCTWORK FOOTPRINT IS COMPLETED NEW INSULATED DUCTWORK WILL REPLACE THE EXISTING IN ITS ORIGINAL CONFIGURATION. THE CONTRACTOR WILL EXERCISE MEASURES TO INSURE THAT NO PORTION OF THE BUILDING SHALL BE WITHOUT HEAT OR AIR CONDITIONING AT ANY TIME DURING THE COURSE OF THIS PROJECT. REFER TO MECHANICAL.)
12. RAISE ON NEW ARCHITECT-APPROVED STANCHIONS ALL EXISTING ROOFTOP UTILITY SERVICES INCLUDING WATER LINES, TELECOMMUNICATIONS, LIGHTNING GROUNDS, ELECTRIC AND GAS SERVICE LINES TO PREVENT INTERFERENCE WITH ROOFTOP SURFACE STORM WATER DRAINAGE AND DIRECT CONTACT WITH THE NEW ROOF STRUCTURE. EXTENSIONS TO EXISTING UTILITY SERVICE CONDUITS REQUIRED TO RAISE THESE ITEMS ARE THE CONTRACTOR'S RESPONSIBILITY. NO PORTION OF THE BUILDING SHALL BE WITHOUT FULL UTILITY SERVICE AT ANY TIME DURING THE COURSE OF THIS PROJECT. REFER TO NEW ROOF PLAN AND DETAILS 8,9/A4 AND MECHANICAL SHEET.
13. EXISTING CURB FLASHINGS WILL BE REMOVED. CURB HEIGHTS WILL BE MODIFIED AND/OR CURBS WILL BE REPLACED TO PROVIDE MINIMUM 8" CLEARANCE TO NEW ROOF OR AS OTHERWISE INDICATED FOR REPLACEMENT ON THE DRAWINGS.
14. EXISTING DUCTWORK IN THIS AREA TO REMAIN AND BE PROTECTED. CURBS WILL REMAIN AND RECEIVE NEW FLASHING.
15. REROOFING OF AREAS OF THIS BUILDING WITH EXISTING METAL OR ASPHALT SHINGLE ROOFING IS NOT INCLUDED IN THE SCOPE OF THIS PROJECT. REPAIRS AND REPLACEMENT OF THE EXERCISE COURT IS NOT INCLUDED IN THE SCOPE OF THIS PROJECT.
16. ALUMINUM CANOPIES ARE NOT INCLUDED IN THE SCOPE OF THIS PROJECT AND ARE TO BE PROTECTED DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
17. EXISTING WINDOW AT LOWER ROOF LEVEL. SEE DETAIL 11/A3.
18. THE CONTRACTOR SHALL TEMPORARILY REMOVE AND THEN REINSTALL ALL ROOF ACCESS LADDERS, STAIRS, AND OTHER MISCELLANEOUS STEEL ACCESS WALKWAY ASSEMBLIES IN CONJUNCTION WITH THE INSTALLATION OF NEW ROOF. ALL STEEL ROOF ACCESS ASSEMBLIES SHALL BE CLEANED WITH A WIRE BRUSH AND REPAINTED PRIOR TO REINSTALLATION.
19. SAW CUT ALL ABANDONED THRU-WALL CONDUITS, PIPES, ETC. FLUSH WITH EXTERIOR WALL SURFACE AND GAP WITH 18 GA. MIN. FLAT METAL PLATE FASTENED TO WALL SURFACE WITH COUNTERSUNK FASTENERS PRIOR TO REROOFING. CONFIRM REMOVAL WITH ARCHITECT PRIOR TO DEMOLITION.
20. EXISTING ROOF DRAIN. SEE ROOF PLAN KEYNOTE 1 ON SHEET A2.
21. CONTRACTOR SHALL REMOVE EXISTING COMMUNICATION TOWER, GUY LINES, AND ANCHORS. SEE SPEC SECTION 01 11 13 SUMMARY OF THE WORK FOR ADDITIVE ALTERNATE BID ITEM NO. 1 FOR MORE INFORMATION.
22. REMOVE EXISTING FIBERGLASS 'KALWALL' SANDWICH PANELS FROM THE SKYLIGHT ASSEMBLY TO REMAIN. PREPARE THE EXISTING FRAME AND CURB FOR NEW SANDWICH PANEL AND ROOFING INSTALLATION. SEE SPEC SECTION 01 11 13 SUMMARY OF THE WORK FOR ADDITIVE ALTERNATE BID ITEM NO. 3 FOR MORE INFORMATION.
23. TYPICAL. ACROSS ALL EXISTING PARAPET WALL CONSTRUCTION, JOINT MATERIAL SHALL BE RAKED AND REPLACED PRIOR TO INSTALLATION OF NEW ROOFING MATERIALS. SEE SPECS. REFER TO DETAILS SHEET A3 AND A4.
24. ENLARGE EXISTING SCUPPER OPENING.
25. EXISTING LIGHTNING PROTECTION AND SECURITY LIGHTING (NOT SHOWN). CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND TEMPORARY REMOVAL AND REINSTALLATION OF EXISTING LIGHTNING PROTECTION AND SECURITY LIGHTING SYSTEMS. CONTRACTOR SHALL NOTIFY OWNER AND COORDINATE WITH OWNER THE SCHEDULING OF THIS AS REQUIRED.
26. **GENERAL NOTE:** COORDINATE ALL DEMOLITION ACTIVITIES WITH HAZARDOUS MATERIALS ABATEMENT.

revisions	
no.	date



**john pruet**  
**ARCHITECTS**  
1869 Madison Ave.  
Memphis, TN 38104  
(901) 721-9062  
pruetarchitects@bellsouth.net  
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**BID DOCUMENT SET**

sheet name

**OVERALL SITE LAYOUT WITH ROOF DEMOLITION PLAN**

date  
**AUGUST 29, 2016**

**A1**

**1 OVERALL SITE LAYOUT WITH ROOF DEMOLITION PLAN**  
A1 APPROXIMATE SCALE: 1/16"=1'-0" NOTE: DRAWINGS ARE REPRESENTATIVE OF EXISTING CONDITIONS ALTHOUGH NOT TO BE RELIED UPON FOR EXACT MEASUREMENTS. CONTRACTOR IS RESPONSIBLE FOR ALL SQUARE FOOTAGE TAKEOFFS.

ROOF PLAN KEY NOTES

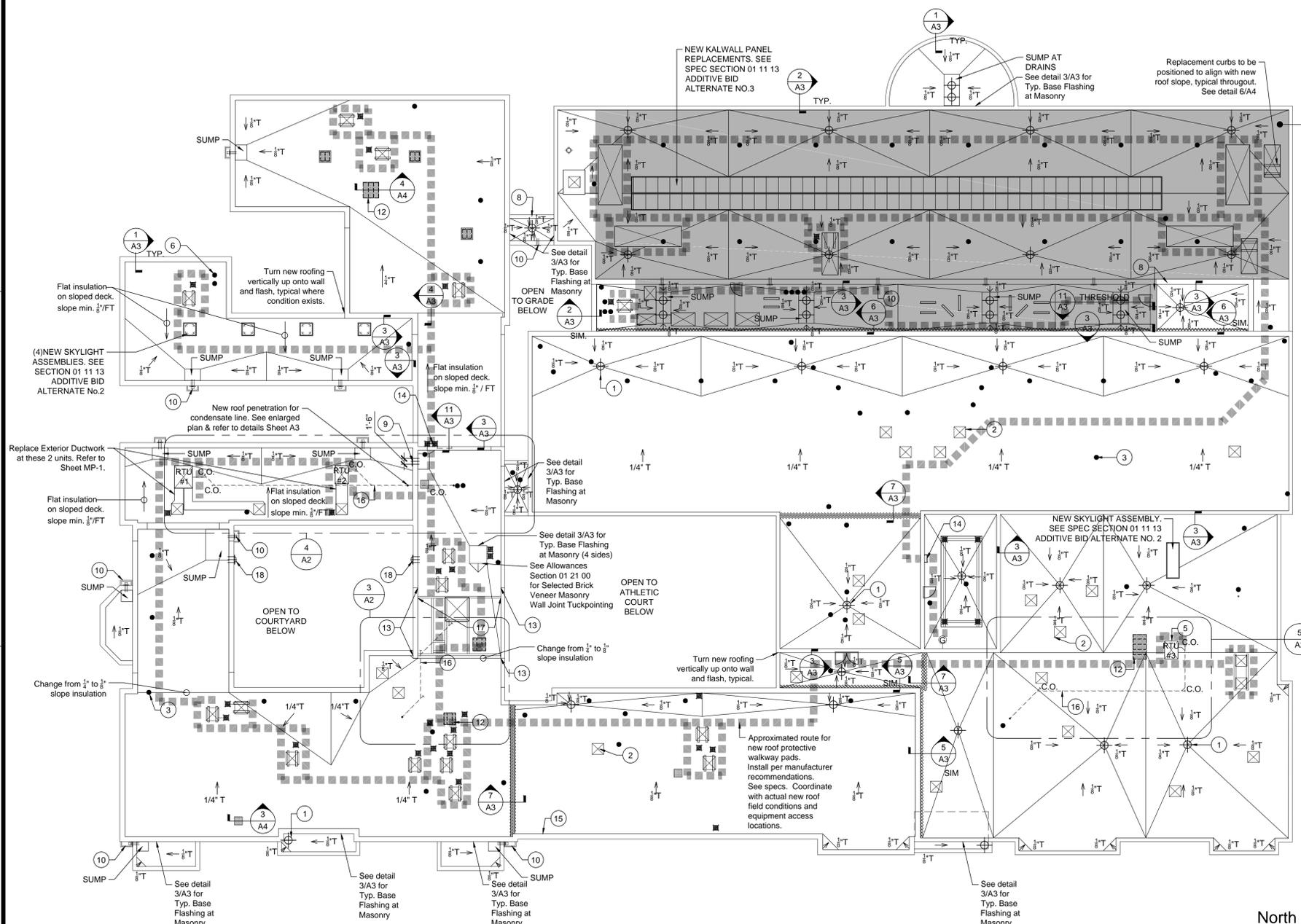
NOTE TO CONTRACTOR: THE KEY NOTES ARE INTENDED TO BE TYPICAL IN NATURE AND APPLICABLE TO ALL SIMILAR CONDITION LOCATIONS IN ADDITION TO THOSE SPECIFICALLY REFERENCED ON THE DRAWINGS UNLESS OTHERWISE INDICATED AS AN ISOLATED SITUATION CONDITION.

- 1. EXISTING ROOF DRAINS. PRIOR TO INSTALLATION OF NEW ROOFING SYSTEM, TEST AND INSPECT EXISTING ROOF DRAINS AND PIPES TO CONFIRM THAT THEY ARE OPERATIONAL AND IN GOOD WORKING ORDER. PROVIDE AND INSTALL NEW DECK CLAMPS IF NECESSARY TO FURNISH A WATER-TIGHT SYSTEM. ADJUST INFLOW ELEVATIONS AND/OR INSTALL REQUIRED RING HEIGHT EXTENDER AS NECESSARY TO COORDINATE WITH NEW ROOF INSTALLATION FINISHED ELEVATION. SEE SECTION 01 21 00 ALLOWANCES.
2. EXISTING ROOF TOP FANS. PROVIDE AND INSTALL NEW CURB COUNTER AND BASE FLASHINGS TO NEW ROOFING SYSTEM PER DETAILS.
3. EXISTING PIPE VTR. EXTEND PIPES AS REQUIRED FOR 8" EXPOSURE ABOVE NEW FINISHED ROOF SURFACE. PROVIDE AND INSTALL NEW BASE FLASHINGS TO NEW ROOFING SYSTEM PER DETAILS. FIELD VERIFY LOCATIONS.
4. EXISTING PIPING PENETRATION GANG BOX. PROVIDE AND INSTALL NEW COUNTER AND BASE FLASHINGS TO NEW ROOFING SYSTEM PER DETAILS. FIELD VERIFY LOCATIONS.
5. EXISTING ROOF TOP UNIT (RTU). PROVIDE AND INSTALL NEW COUNTER AND BASE FLASHINGS TO NEW ROOFING SYSTEM PER DETAILS - TYPICAL ALL UNITS
6. EXISTING MECHANICAL FLUE. PROVIDE AND INSTALL NEW BASE FLASHINGS TO NEW ROOFING SYSTEM PER DETAILS. EXTEND VENT STACK AS REQUIRED FOR 8" EXPOSURE BETWEEN RAIN HOOD AND NEW FINISHED ROOF SURFACE. SEE DETAIL SHEET A3.
7. PROVIDE AND INSTALL NEW ROOF TOP EXPANSION JOINT. MODIFY EXISTING CURB HEIGHT AS REQUIRED BY NEW ROOF SYSTEM FINISHED SURFACE ELEVATIONS. REFER TO DETAILS. TYPICAL ALL EXPANSION JOINTS.
8. REPLACE ALL EXISTING METAL COPING. REPLACE ALL UNSUITABLE MATERIAL BENEATH COPINGS TO BE REPLACED. SEE SPECS AND REFER TO DETAIL 2/A3.
9. ENLARGE OPENING AT EXISTING SCUPPER. NEW OPENING DIMENSION TO BE 18" WIDE BY 12" TALL. INSTALL NEW 4"x4"x3/16" GALVANIZED STEEL ANGLE LINTEL WITH MECHANICAL FASTENERS INTO EXISTING PARAPET WALL CONSTRUCTION. EXTEND LINTEL 4" MINIMUM BEYOND THE OPENING ON EACH SIDE.
10. EXISTING PARAPET SCUPPER. PRIOR TO INSTALLATION OF NEW ROOFING SYSTEM, TEST AND INSPECT SCUPPERS AND INTERNAL LEADERS AND OUTFLOW PORTALS TO CONFIRM THAT THEY ARE OPERATIONAL AND IN GOOD WORKING ORDER. INSTALL NEW INFLOW INSERTS (REFER TO DETAILS). CONSTRUCT NEW ROOF SLOPES TO COORDINATE WITH EXISTING WALL SCUPPER OPENING OUTFLOW ELEVATIONS. REPLACE AND/OR REINSTALL ALL MISSING SECTIONS OF DOWNSPOUT. MATCH EXISTING ADJACENT CONSTRUCTION MATERIAL, PROFILE, FINISH, ETC.
11. INSTALL NEW EMERGENCY OVERFLOW DRAINS WHERE SHOWN ON DRAWINGS. COORDINATE ACTUAL LOCATIONS WITH EXISTING STORM DRAINAGE PLUMBING PIPING PROVIDED UNDER SCOPE OF PREVIOUS CONTRACT.
12. AT LOCATIONS OF ABANDONED ROOF DECK OPENINGS, SEE DETAIL 3/A4. WHERE OPENING IS GREATER THAN 8"x8", REFER TO DETAIL 4/A4. PROTECT AREAS OF ADJACENT FINISHED CONSTRUCTION AND REPLACE TO EXISTING CONDITION ANY CONSTRUCTION OF THE INTERIOR IF DAMAGED DURING THIS WORK.
13. FLASH WALL VERTICALLY ON INSIDE HIGH WALL CORNER, TYPICAL WHERE CONDITION EXISTS.
14. EXISTING ROOF ACCESS LADDER. SAND/REPAINT. SEE SPECS.
15. EXISTING LIGHTNING PROTECTION AND SECURITY LIGHTING (NOT SHOWN). CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND TEMPORARY REMOVAL AND REINSTALLATION OF EXISTING LIGHTNING PROTECTION AND SECURITY LIGHTING SYSTEMS. CONTRACTOR SHALL NOTIFY OWNER AND COORDINATE WITH OWNER THE SCHEDULING OF THIS AS REQUIRED. NOTE: LIGHTNING PROTECTION GROUND LINES SHALL BE REINSTALLED ON ARCHITECT APPROVED STANCHIONS. THEY SHALL NOT LIE DIRECTLY ON THE ROOF SURFACE OR IMPEDE SURFACE DRAINAGE FLOW.
16. NEW CONDENSATE LINE ROUTE TO TIE INTO EXISTING PLUMBING. REFER TO SHEET MP-1.
17. WHERE STEEL MECHANICAL SUPPORTS INTERSECT PARAPET WALL, PROVIDE WATERTIGHT SEAL AROUND STEEL SUPPORTS. REFER TO ROOFING MANUFACTURER RECOMMENDATIONS.
18. CONSTRUCT NEW OPENING IN PARAPET WALL AND NEW EMERGENCY OVERFLOW DRAINAGE THRU-WALL SCUPPER. (COORDINATE EXACT LOCATION AND PREVENT BEING INSTALLED DIRECTLY ABOVE EXISTING EXTERIOR LIGHTING, WINDOWS, ETC.) INSTALL NEW 4" X 4" X 3/16" GALVANIZED STEEL ANGLE LINTEL WITH MECHANICAL FASTENERS INTO EXISTING PARAPET WALL CONSTRUCTION. EXTEND LINTEL 4" MINIMUM BEYOND THE OPENING ON EACH SIDE. SET OUTLET ELEVATION FOR OVERFLOW DRAINAGE 2" HIGHER THAN EXISTING SCUPPER OUTLET AND COORDINATE WITH NEW ROOF SLOPE FOR POSITIVE DRAINAGE RESULT. REFER TO DETAIL 2/A4 SIMILAR.

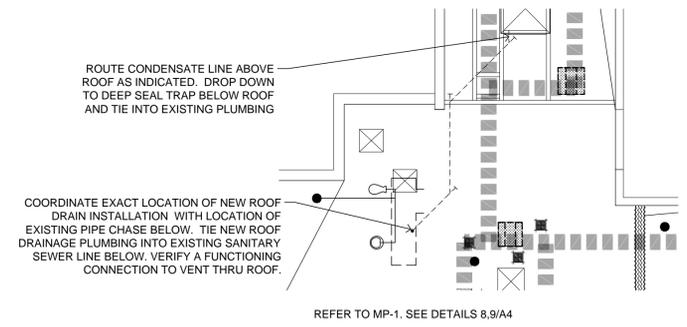
NOTE: SHADING INDICATES AREA IN WHICH EXISTING DUCTWORK AND EXISTING LARGE EQUIPMENT CURBS ARE TO REMAIN AND BE PROTECTED DURING ALL PHASES OF DEMOLITION AND NEW CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR REPLACEMENT OF DAMAGED CONSTRUCTION. SEE DETAIL 7/A4 FOR TYPICAL FLASH IN PLACE EQUIPMENT ROOF CURB.

SYMBOL LEGEND

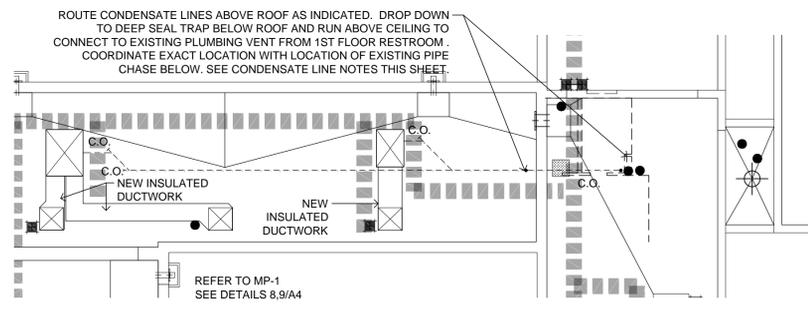
- ELEC. / PLUMB. / MECH. PIPE ROOF PENETRATION DIAMETER VARIES. (CONFIRM DIAMETER IN FIELD AND COORDINATE WITH DETAILS 8/A3 AND 9/A3)
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KEYNOTE
DRAWING REFERENCE FOR DETAIL



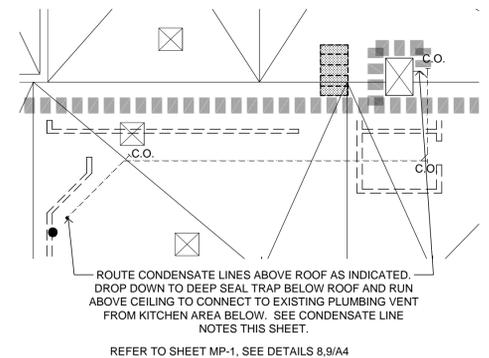
1 A2 ROOF PLAN APPROXIMATE SCALE: 1/16"=1'-0" NOTE: DRAWINGS ARE REPRESENTATIVE OF EXISTING CONDITIONS ALTHOUGH NOT TO BE RELIED UPON FOR EXACT MEASUREMENTS. CONTRACTOR IS RESPONSIBLE FOR ALL SQUARE FOOTAGE TAKEOFFS.



2 A2 NOT USED APPROXIMATE SCALE: 3/32"=1'-0"



4 A2 ENLARGED PLAN AT REROUTED CONDENSATE LINE APPROXIMATE SCALE: 3/32"=1'-0"



5 A2 ENLARGED PLAN AT REROUTED CONDENSATE LINE APPROXIMATE SCALE: 3/32"=1'-0"

DRAIN / CONDENSATE NOTES:

- NOTE: COORDINATE WITH SHEET MP-1
1. CONNECT 1-1/4" CONDENSATE DRAIN TO SINK DRAIN PER CODE.
2. REMOVE ALL EXISTING CONDENSATE DRAIN PIPES AND INSTALL NEW AT 1/8" PER FOOT SLOPE.
3. PROVIDE SUPPORT OF THE PIPES AS REFERENCED IN DETAILS.
4. DO NOT HANG PIPES IN MID AIR.
5. PROVIDE CLEANOUTS AT ALL 45° OR 90° TURNS.
6. ALL ROOF AND WALL PENETRATION (CORE DRILLING) AND SEALING WILL BE PERFORMED BY GENERAL CONTRACTOR. PLUMBING CONTRACTOR TO COORDINATE EXACT LOCATION.
7. CONTRACTOR TO FIELD VISIT AND COORDINATE ALL DRAIN AND DRAIN CONNECTION LOCATIONS.
8. INSULATE ALL NEW HORIZONTAL DRAIN LINER INSIDE THE BUILDING WITH 1 INCH OWENS CORNING FIBERGLASS #SSL II (AS) INSULATION.

Table with 2 columns: no., date. Includes a seal for JOHN R. PRUETT, REGISTERED ARCHITECT, STATE OF TENNESSEE, NO. 20955.

john pruetts ARCHITECTS 1869 Madison Ave. Memphis, TN 38104 (901) 721-9062 pruettsarchitects@bellsouth.net www.pruettsarchitects.com

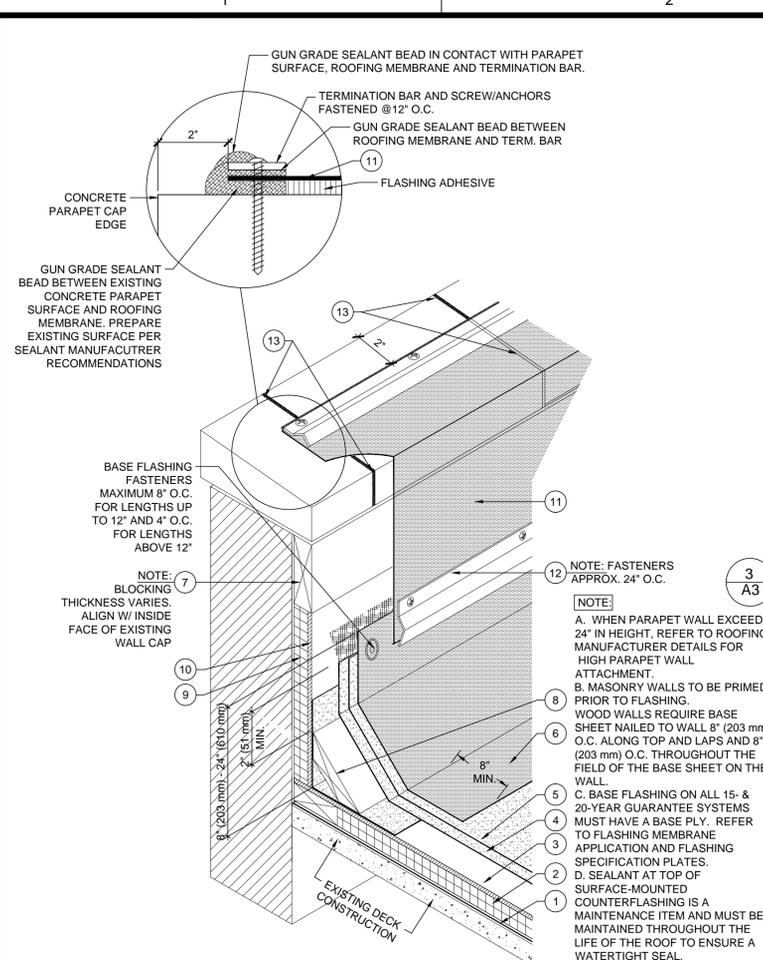
Shelby County Government Juvenile Court Roof Replacement 616 Adams Avenue, Memphis, TN

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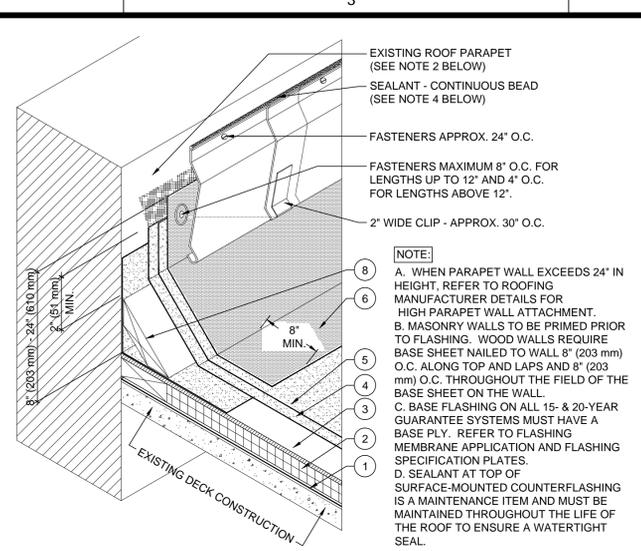
sheet name ROOF PLAN & ENLARGED PLANS

date AUGUST 29, 2016

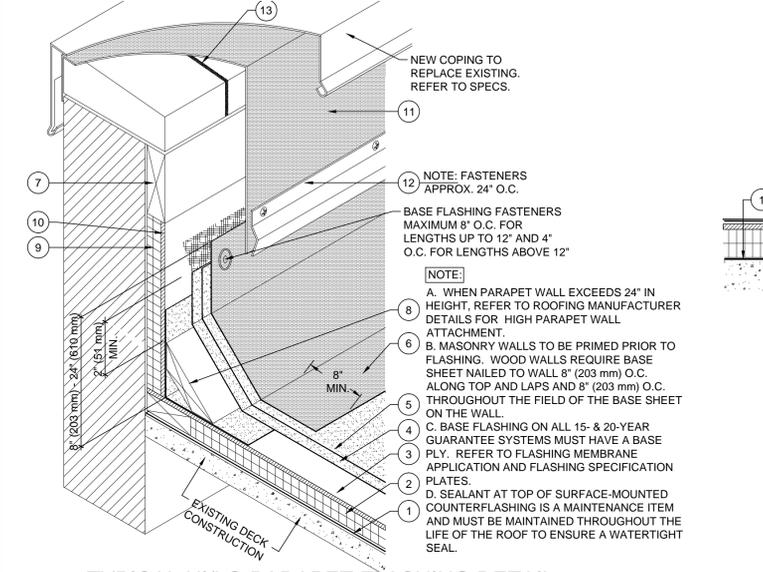
A2



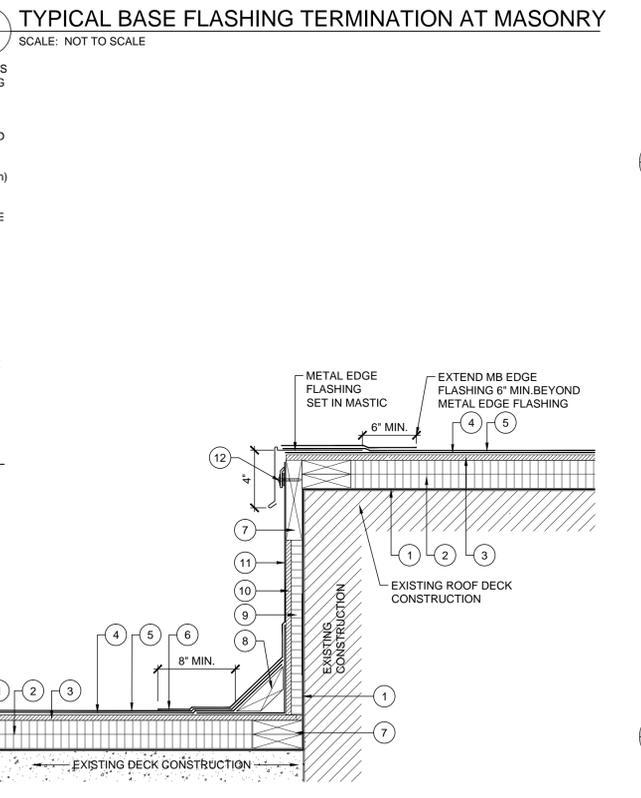
**1**  
A3  
**TYPICAL PARAPET WALL CAP & INTERIOR ROOF SIDE FLASHING DETAIL**  
SCALE: NOT TO SCALE



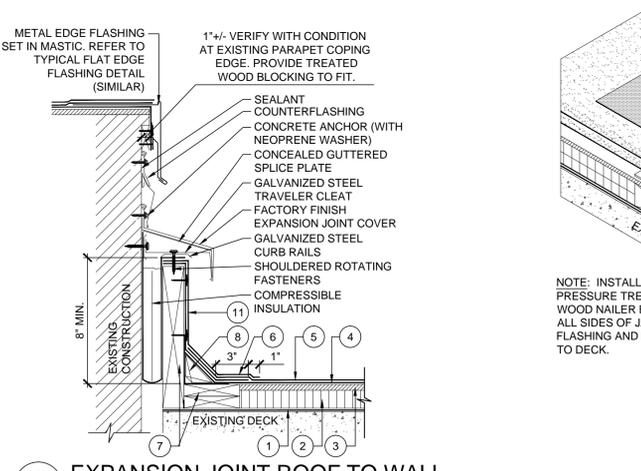
**3**  
A3  
**TYPICAL BASE FLASHING TERMINATION AT MASONRY**  
SCALE: NOT TO SCALE



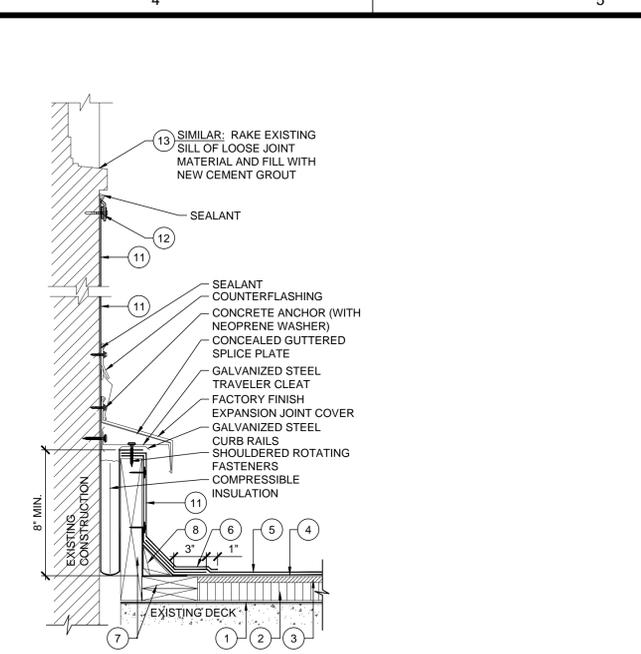
**2**  
A3  
**TYPICAL HI/LO PARAPET FLASHING DETAIL AT NEW COPING**  
SCALE: NOT TO SCALE



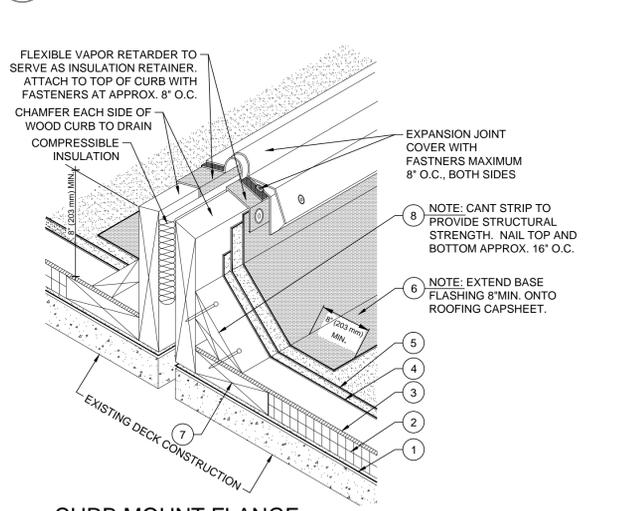
**4**  
A3  
**DETAIL AT DRIP EDGE WITH METAL EDGE FLASHING**  
SCALE: NOT TO SCALE



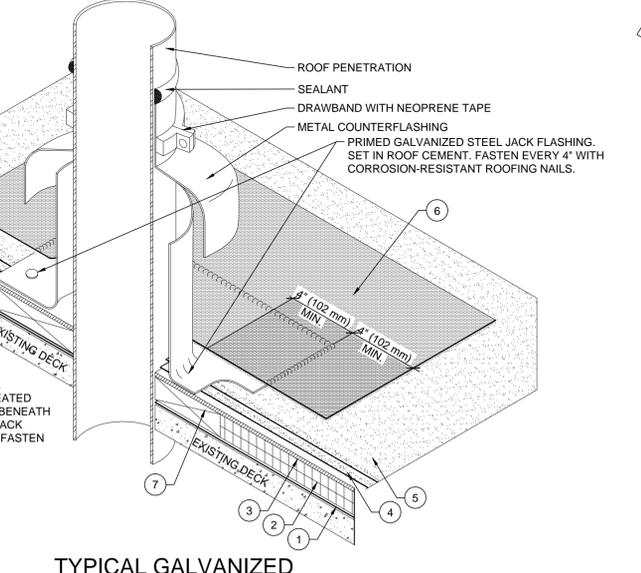
**5**  
A3  
**EXPANSION JOINT ROOF TO WALL**  
SCALE: NOT TO SCALE



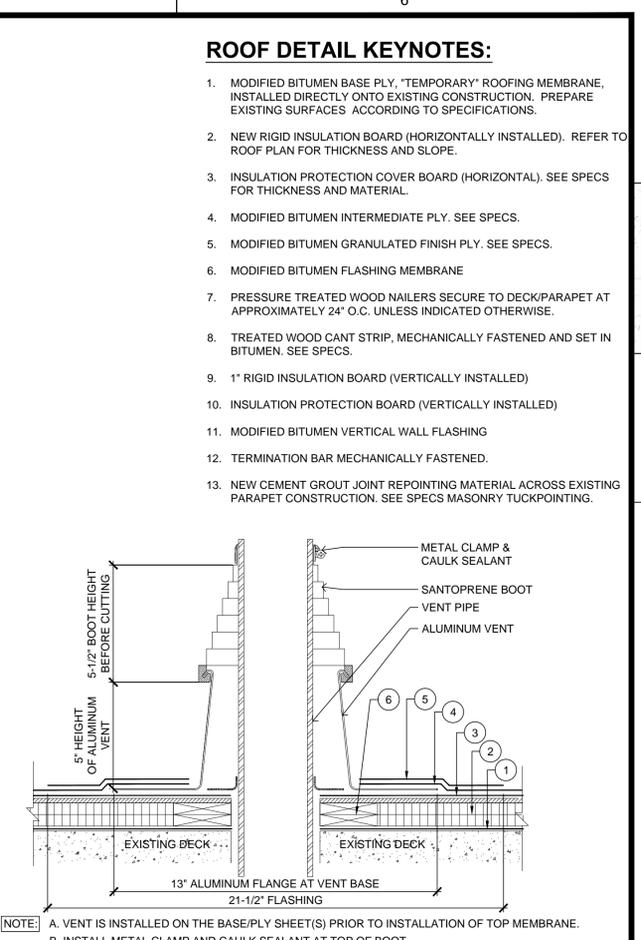
**6**  
A3  
**EXPANSION JOINT ROOF TO WALL (WITH SILL ABOVE)**  
SCALE: NOT TO SCALE



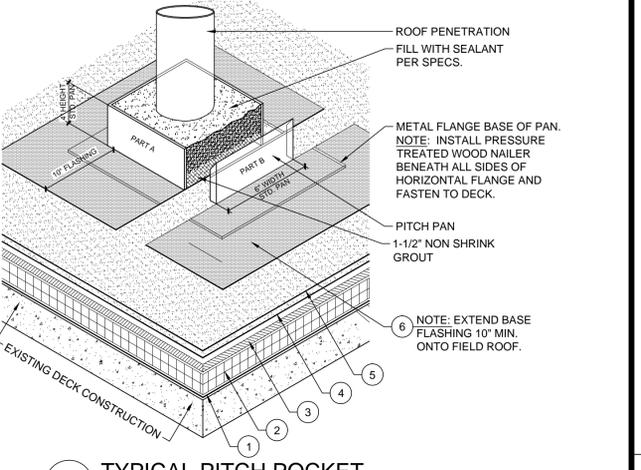
**7**  
A3  
**CURB MOUNT FLANGE EXPANSION JOINT FLASHING DETAIL**  
SCALE: NOT TO SCALE



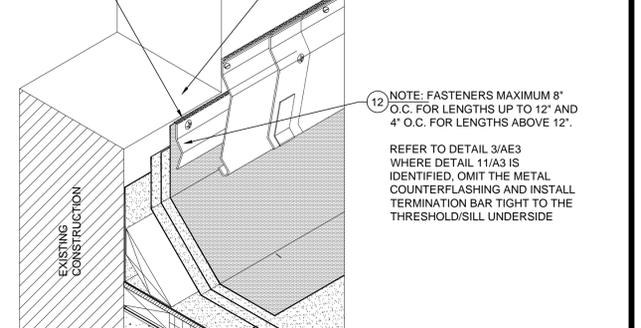
**8**  
A3  
**TYPICAL GALVANIZED METAL JACK FLUE FLASHING**  
SCALE: NOT TO SCALE



**9**  
A3  
**TYPICAL PIPE VENT FLASHING**  
SCALE: NOT TO SCALE



**10**  
A3  
**TYPICAL PITCH POCKET**  
SCALE: NOT TO SCALE

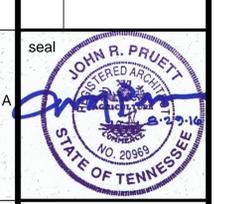


**11**  
A3  
**LOW SILL / THRESHOLD FLASHING**  
SCALE: NOT TO SCALE

**ROOF DETAIL KEYNOTES:**

1. MODIFIED BITUMEN BASE PLY, "TEMPORARY" ROOFING MEMBRANE, INSTALLED DIRECTLY ONTO EXISTING CONSTRUCTION. PREPARE EXISTING SURFACES ACCORDING TO SPECIFICATIONS.
2. NEW RIGID INSULATION BOARD (HORIZONTALLY INSTALLED). REFER TO ROOF PLAN FOR THICKNESS AND SLOPE.
3. INSULATION PROTECTION COVER BOARD (HORIZONTAL). SEE SPECS FOR THICKNESS AND MATERIAL.
4. MODIFIED BITUMEN INTERMEDIATE PLY. SEE SPECS.
5. MODIFIED BITUMEN GRANULATED FINISH PLY. SEE SPECS.
6. MODIFIED BITUMEN FLASHING MEMBRANE
7. PRESSURE TREATED WOOD NAILERS SECURE TO DECK/PARAPET AT APPROXIMATELY 24" O.C. UNLESS INDICATED OTHERWISE.
8. TREATED WOOD CANT STRIP, MECHANICALLY FASTENED AND SET IN BITUMEN. SEE SPECS.
9. 1" RIGID INSULATION BOARD (VERTICALLY INSTALLED)
10. INSULATION PROTECTION BOARD (VERTICALLY INSTALLED)
11. MODIFIED BITUMEN VERTICAL WALL FLASHING
12. TERMINATION BAR MECHANICALLY FASTENED.
13. NEW CEMENT GROUT JOINT REPOINTING MATERIAL ACROSS EXISTING PARAPET CONSTRUCTION. SEE SPECS MASONRY TUCKPOINTING.

revisions	
no.	date



**john pruet**  
ARCHITECTS  
1869 Madison Ave.  
Memphis, TN 38104  
(901) 721-9062  
pruetarchitects@bellsouth.net  
www.pruetarchitects.com

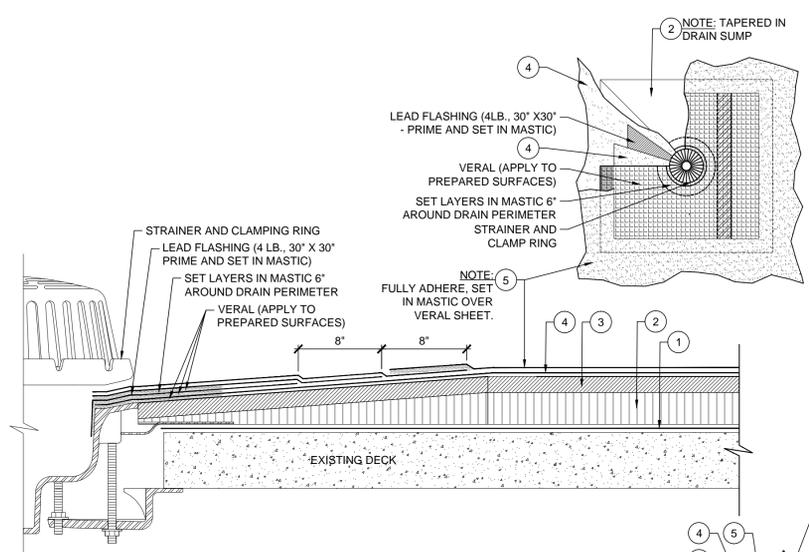
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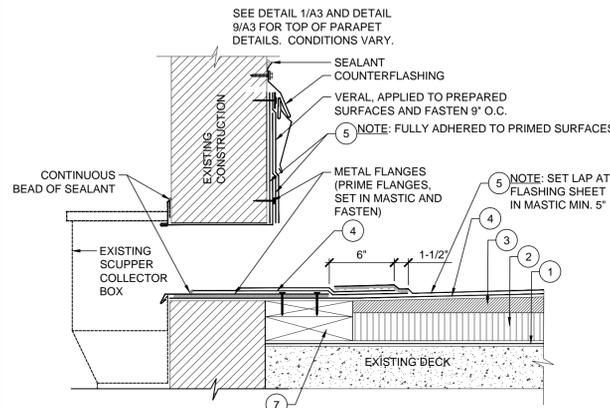
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**AUGUST 29, 2016**

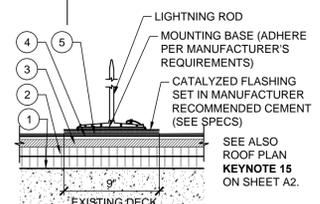
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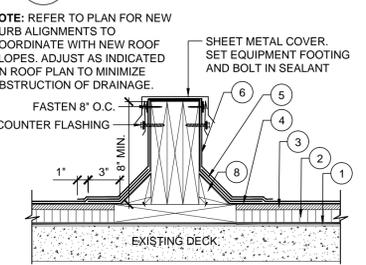
**1**  
A4  
**TYPICAL (SUMPED) ROOF DRAIN FLASHING**  
SCALE: NOT TO SCALE



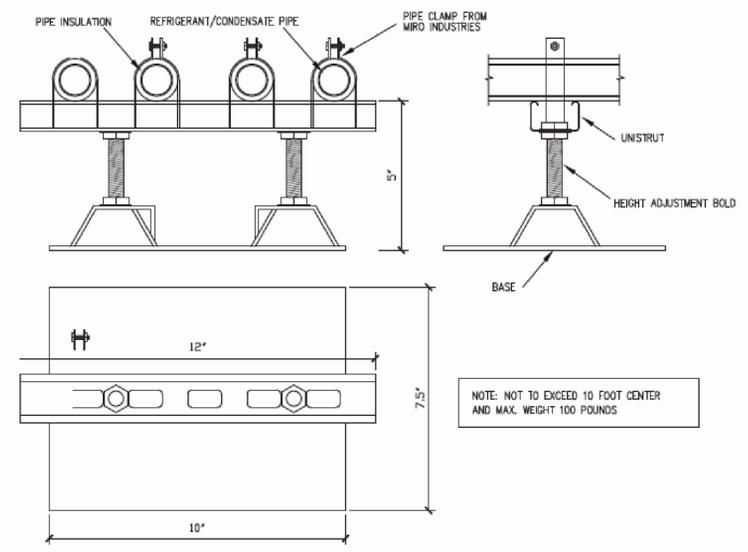
**2**  
A4  
**TYPICAL SCUPPER DETAIL**  
SCALE: NOT TO SCALE



**5**  
A4  
**TYPICAL DETAIL AT LIGHTNING PROTECTION SYSTEM**  
SCALE: NOT TO SCALE

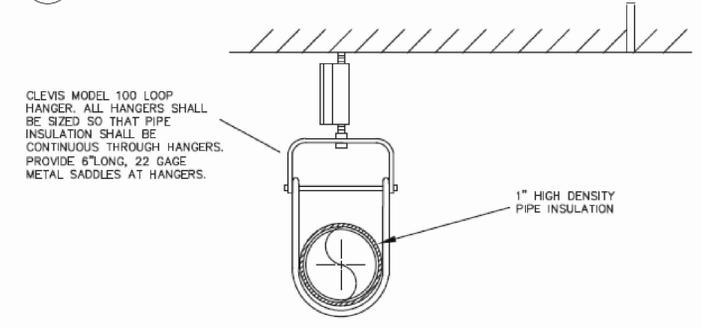


**6**  
A4  
**TYPICAL CURB RAIL FLASHING DETAIL**  
SCALE: NOT TO SCALE

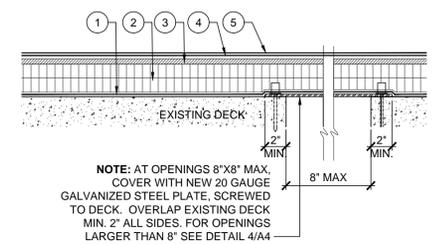


- FOR CONDUIT AND CONDENSATE PIPE SUPPORT USE MIRC# 2.5 CONDUIT SUPPORT-5,7 OR 12 DEPENDING UPON PIPE HEIGHT- INCLUDING SUPPORT PAD
- FOR GAS PIPE SUPPORT USE MIRC# 3-RAH-7, 12, OR 4-RAH-7, 12 INCLUDING SUPPORT PAD.

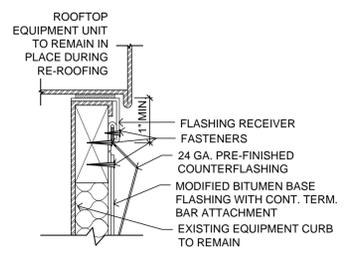
**8**  
A4  
**TYPICAL CONDUIT SUPPORT FOR CONDENSATE & ELECTRICAL CONDUIT**  
SCALE: NOT TO SCALE



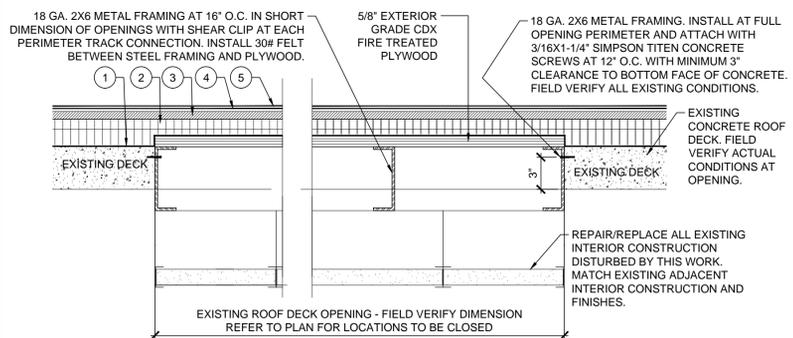
**9**  
A4  
**HANGER DETAIL FOR CONDENSATE PIPE INSIDE BUILDING**  
SCALE: NOT TO SCALE



**3**  
A4  
**TYPICAL INFILL CONSTRUCTION AT ABANDONED DECK OPENINGS (SMALL)**  
SCALE: NOT TO SCALE



**7**  
A4  
**TYPICAL FLASH IN PLACE EQUIPMENT ROOF CURB**  
SCALE: NOT TO SCALE



**4**  
A4  
**TYPICAL INFILL CONSTRUCTION AT ABANDONED DECK OPENINGS (LARGE)**  
SCALE: NOT TO SCALE

**ROOF DETAIL KEYNOTES:**

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- NEW RIGID INSULATION BOARD (HORIZONTALLY INSTALLED). REFER TO ROOF PLAN FOR THICKNESS AND SLOPE.
- INSULATION PROTECTION COVER BOARD (HORIZONTAL). SEE SPECS FOR THICKNESS AND MATERIAL.
- MODIFIED BITUMEN INTERMEDIATE PLY. SEE SPECS.
- MODIFIED BITUMEN GRANULATED FINISH PLY. SEE SPECS.
- MODIFIED BITUMEN FLASHING MEMBRANE
- PRESSURE TREATED WOOD NAILERS SECURE TO DECK/PARAPET AT APPROXIMATELY 24" O.C. UNLESS INDICATED OTHERWISE.
- TREATED WOOD CANT STRIP, MECHANICALLY FASTENED AND SET IN BITUMEN. SEE SPECS.
- 1" RIGID INSULATION BOARD (VERTICALLY INSTALLED)
- INSULATION PROTECTION BOARD (VERTICALLY INSTALLED)
- MODIFIED BITUMEN VERTICAL WALL FLASHING
- TERMINATION BAR MECHANICALLY FASTENED.
- NEW CEMENT GROUT JOINT REPOINTING MATERIAL ACROSS EXISTING PARAPET CONSTRUCTION. SEE SPECS MASONRY TUCKPOINTING.

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**john pruet**  
ARCHITECTS  
1869 Madison Ave.  
Memphis, TN 38104  
(901) 721-9062  
pruetarchitects@bellsouth.net  
www.pruettarchitects.com

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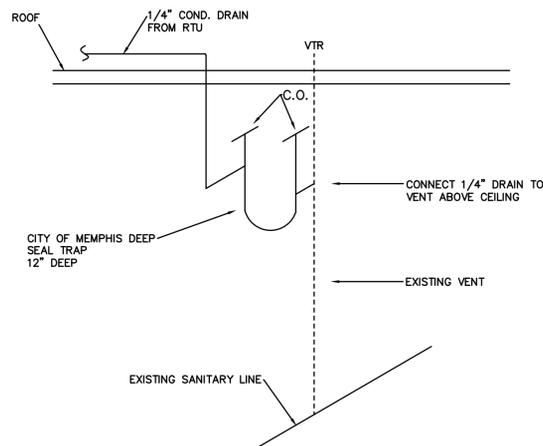
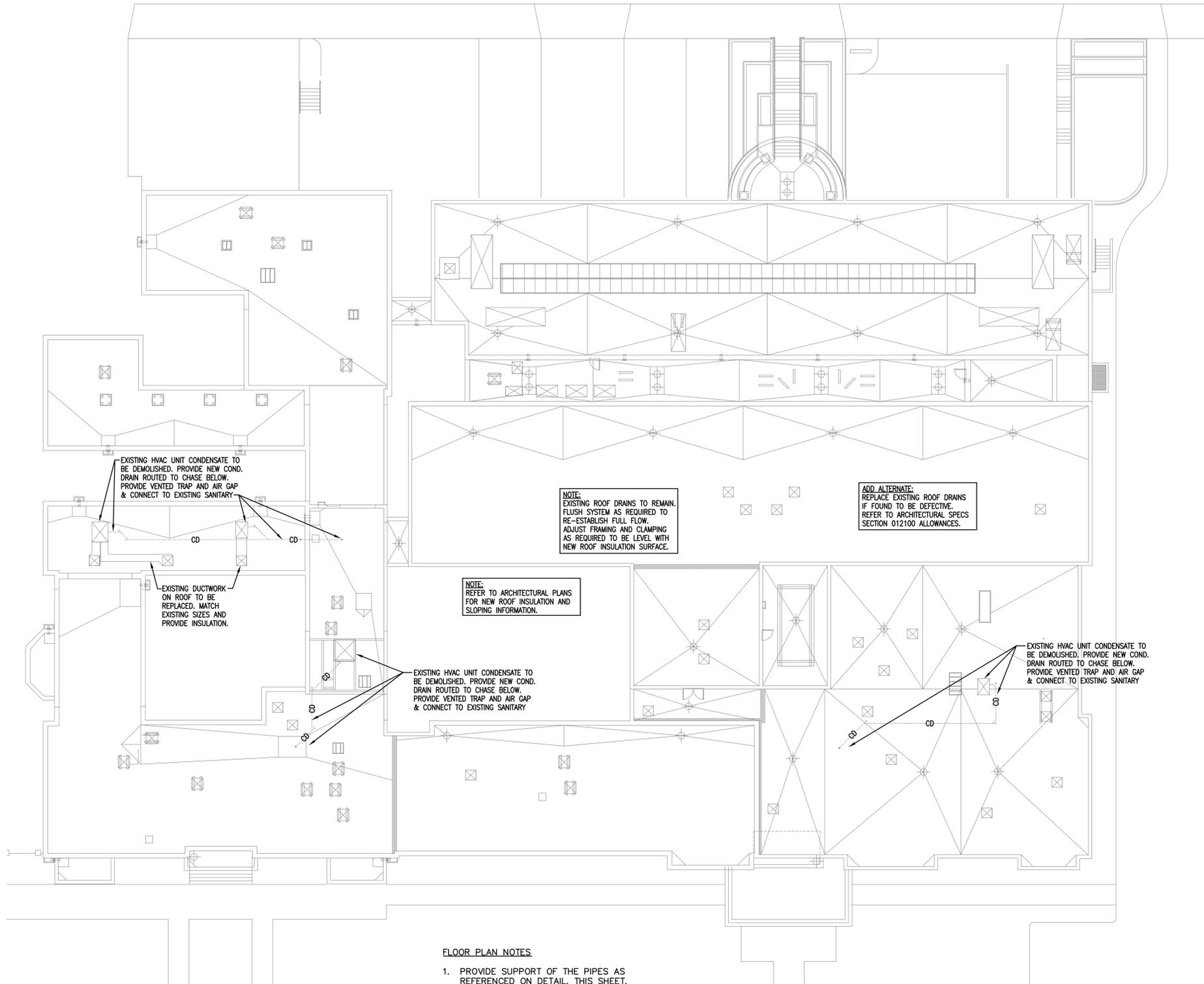
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date  
**AUGUST 29, 2016**

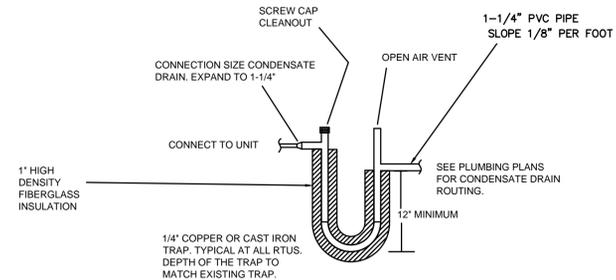
**A4**

**GENERAL PLUMBING NOTES**

- REFERENCE THE SPECIFICATIONS FOR MATERIALS AND EQUIPMENT STANDARDS.
- THE INSTALLATION OF THE PLUMBING SYSTEMS AND EQUIPMENT SHALL COMPLY WITH ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL COORDINATE THE INTERRUPTION OF ALL UTILITY SERVICES WITH OWNER'S REPRESENTATIVE. PROVIDE A MINIMUM OF FIVE WORKING DAYS ADVANCED NOTICE, OR PER PLUMBING SPECIFICATIONS, OF SCHEDULED UTILITY DISCONNECTION.
- CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS AND SIZES OF EXISTING SERVICES SHOWN ON DRAWINGS PRIOR TO PRICING, FABRICATION, OR CONSTRUCTION. CONTRACTOR SHALL FIELD LOCATE ALL OTHER EXISTING EQUIPMENT, FIXTURES, AND SERVICES IN THE AREA OF THIS PROJECT.
- PLANS ARE NOT COMPLETELY TO SCALE. PIPE ROUTING SHOWN IS SCHEMATIC AND IS NOT INTENDED TO INDICATE EXACT LOCATION OF PIPING AND VALVES. CONTRACTOR SHALL PROVIDE ANY ADDITIONAL FITTINGS REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN PROPER CLEARANCES. COORDINATE WITH ALL TRADES AND OTHER POTENTIAL OBSTRUCTIONS AND ROUTE PIPING TO AVOID INTERFERENCES.
- CONCEAL PIPING ABOVE CEILINGS, WITHIN WALLS OR CHASES EXCEPT IN MECHANICAL ROOMS OR AS SPECIFICALLY NOTED.
- FIRESTOP ALL PENETRATIONS THROUGH RATED WALLS, CEILINGS, AND FLOORS WITH LISTED ASSEMBLIES AND SLEEVE WHERE REQUIRED. FIRESTOP ASSEMBLIES SHALL BE EQUAL OR EXCEED THE RATING OF THE WALL OR FLOOR. ALL FIRESTOP ASSEMBLIES SHALL MEET ASTM E-814 REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR FINAL FINISHES AND ADDITIONAL PIPE PENETRATION REQUIREMENTS.
- REFER TO ARCHITECTURAL DRAWINGS FOR FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
- INSTALL CODE REQUIRED FIXED AIR GAPS ON ALL INDIRECT WASTE CONNECTIONS SERVING EQUIPMENT, AND APPLIANCES.
- PROVIDE CLEANOUTS ON ALL SANITARY DRAIN & WASTE, STORM DRAIN, AND CONDENSATE DRAIN PIPING AS INDICATED ON THE DRAWINGS, AND AS REQUIRED BY LOCAL AND STATE CODES. INSTALL CLEANOUTS IN ACCESSIBLE LOCATIONS. COORDINATE TOP OF FLOOR/GRADE CLEANOUT ELEVATION WITH TOP OF FINISHED GRADE.
- ALL FLOOR, WALL AND CEILING OPENINGS CREATED BY THE REMOVAL OF EXISTING PLUMBING RELATED ITEMS SHALL BE REPAIRED TO MATCH EXISTING ADJACENT FINISHES AND WALL CONSTRUCTION.
- CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF SEWERS TO WHICH NEW SEWER LINES ARE TO BE CONNECTED BEFORE INSTALLATION OF NEW SEWER LINE.
- UNLESS NOTED OTHERWISE, SLOPE ALL SANITARY DWV, STORM DRAIN, AND CONDENSATE DRAIN PIPING 3" PIPE SIZE & LARGER A MINIMUM OF 1/8" PER FT. OF RUN, AND 2" PIPE SIZE AND SMALLER A MINIMUM 1/4" PER FT. OF RUN. SLOPE VENT PIPING DOWN & BACK TO FIXTURES.
- EACH PLUMBING VENT SHALL TERMINATE NOT LESS THAN 10 FT. FROM, OR AT LEAST 3 FT. ABOVE ANY WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT.
- PIPING SHALL NOT BE ROUTED OVER ANY ELECTRICAL OR COMMUNICATIONS ROOMS.
- COORDINATE THE EXACT LOCATION OF ROOF DRAINS WITH ARCHITECT PRIOR TO CONSTRUCTION.
- PROVIDE ALL NECESSARY VALVES, TRAPS, FLOW CONTROLS, FILTERS, BACKFLOW ASSEMBLIES, FAUCETS, STOPS, TAILPIECES, VACUUM BREAKERS, IF NOT FURNISHED WITH EQUIPMENT.
- CONTRACTOR SHALL ROUGH-IN ALL WASTES AND SUPPLIES TO ALL EQUIPMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND MAKE FINAL CONNECTIONS.
- PROVIDE DIELECTRIC UNIONS WHERE CONNECTIONS ARE MADE BETWEEN DISSIMILAR PIPE MATERIALS.
- IF THE INTENT OF THE INFORMATION SHOWN ON THESE DOCUMENTS IS NOT CLEAR, OR IS CAPABLE OF MORE THAN ONE INTERPRETATION, SUCH MATTERS WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER IN WRITING BEFORE THE SUBMISSION OF BIDS, AND THE ARCHITECT/ENGINEER SHALL MAKE CORRECTION OR EXPLANATION IN WRITING.
- WHERE THE CONTRACTOR PROPOSES ALTERNATE SOLUTIONS, DIFFERENT ROUTINGS OF PIPING, DIFFERENT LOCATIONS OF EQUIPMENT, FIXTURES, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OF THE RAMIFICATIONS OF THE PROPOSED CHANGE THAT ARE NOT INCLUDED IN HIS PROPOSAL, BUT BECOME APPARENT AT A LATER DATE, AND SHALL BEAR THE CONSEQUENCES OF CORRECTING ANY AND ALL CONFLICTS, DEFICIENCIES OR OTHER PROBLEMS AT NO INCREASE IN COST OR INCREASE IN CONSTRUCTION TIME ALLOTTED.



**DEEP SEAL TRAP DETAIL**  
NOT TO SCALE



**P-TRAP DETAIL**  
NOT TO SCALE

**FLOOR PLAN NOTES**

- PROVIDE SUPPORT OF THE PIPES AS REFERENCED ON DETAIL, THIS SHEET.
- DO NOT HANG PIPES IN MID AIR.
- PROVIDE CLEANOUTS AT ALL 45° OR 90° TURNS.
- ALL ROOF AND WALL PENETRATION (CORE DRILLING) AND SEALING WILL BE PERFORMED BY GENERAL CONTRACTOR. PLUMBING CONTRACTOR TO COORDINATE EXACT LOCATION.
- CONTRACTOR TO FIELD VISIT AND COORDINATE ALL DRAIN & DRAIN CONNECTION LOCATIONS.
- INSULATE ALL NEW HORIZONTAL DRAIN LINER INSIDE THE BUILDING WITH 1 INCH OWENS CORNING FIBERGLASS #SSL II (ASI) INSULATION.

**ROOF DRAIN SCHEDULE**

MARK	BODY	DOME OR STRAINER	MANUFACTURER
RD-1	CAST IRON	CAST IRON	J.R. SMITH #1015-C-R-CID WATTS #RD-100-B-D-F-K ZURN #ZC-100-EA-C-R
RD-2	CAST IRON	CAST IRON WITH 2" WATER DAM	J.R. SMITH #1074-C-R-CID-CIS WATTS #RD-100-R-B-D-F-K ZURN #ZC-100-EA-C-R-W2

**NOTES:**

- PROVIDE ALL ROOF DRAINS WITH UNDERDECK CLAMP, SUMP RECEIVER, ADJUSTABLE EXTENSION, AND C.I. DOME.
- REFER TO PLANS FOR DRAIN AND CONNECTION SIZES.

revisions

no. date

seal



**john pruet**  
**ARCHITECTS**  
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Memphis, TN 38104  
(901) 721-9062  
pruetarchitects@bellsouth.net  
www.pruetarchitects.com

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sheet name  
MECHANICAL AND PLUMBING  
ROOF PLAN, SCHEDULES,  
DETAILS & NOTES

date  
**AUGUST 29, 2016**

**MP-1**